



Regular Public Session of September 24, 2019

Santa Cruz Port Commission MINUTES

Commission Members Present:

Dennis Smith	Chairman
Stephen Reed	Vice-chairman
Toby Goddard	Commissioner
Darren Gertler	Commissioner
Neli Cardoso	Commissioner

REGULAR PUBLIC SESSION – 7:00 PM

Chairman Smith brought the regular public session to order at 7:00 PM at the Santa Cruz Harbor Public Meeting Room, 365 A Lake Avenue, Santa Cruz, CA 95062.

1. Pledge of Allegiance
2. Oral Communication

Discussion: Chairman Smith began the meeting with a moment of silence to honor the 34 victims onboard the vessel *Conception*, which caught fire and sank on September 2, 2019, off the Santa Cruz Islands.

Commissioner Goddard stated that he has accepted a position on the CMANC Board of Directors and will be participating in the upcoming Fall meeting. Vice-chairman Reed thanked Commissioner Goddard and stated that having Port District representation on the Board is beneficial.

Chairman Smith stated that it will be beneficial to monitor future climate events and the associated impacts on the local commercial fishery. Vice-chairman Reed suggested that the Port District invite an expert in fishery management to present relevant information to the Commission. Port Director Olin stated that staff will research that possibility.

Port Director Olin announced that Harbormaster Marshall will retire effective December 3, 2019. She stated that as of September 23, 2019, Harbormaster Marshall is utilizing leave balances and no longer on duty. Assistant Harbormaster Anderson has been appointed to fill the position on an interim basis.

The Commission expressed their support for Assistant Harbormaster Anderson filling the role of interim Harbormaster.

CONSENT AGENDA

3. Approval of Minutes

a) Special Closed and Regular Public Session of August 27, 2019

Discussion: Commissioner Cardoso stated that it is her opinion that the meeting minutes from August 27, 2019 (item 22), do not accurately reflect her intentions, as she did not intend to make personal accusations.

MOTION: Motion made by Commissioner Goddard, seconded by Commissioner Gertler to approve the consent agenda.

- *Motion carried. Commissioner Cardoso voting NO.*

REGULAR AGENDA

4. Authorization to Acquire a Replacement Patrol Vessel:

- a) Approval of Resolution 19-08 – Authorizing the Port Director to Execute Grant Agreement Documents with the State of California for Patrol Vessel Funding
- b) Authorization to Purchase Replacement Patrol Vessel from Moose Boats (NTE \$537,675)

Discussion: Assistant Harbormaster Anderson summarized the staff report and recommended the Commission authorize staff to pursue a sole-source acquisition of a replacement patrol vessel from Moose Boats. He stated that after extensive research, he is confident that Moose Boats will supply the best possible rescue craft available to meet the needs of the District's search and rescue operation. He outlined the following vessel specifications available from Moose Boats:

- High viewing platform and freeboard
- Ample storage compartments
- Ample deck space
- Proprietary hull design with a consistent 20-degree deadrise
- Local manufacturing facility in Vallejo, California

A brief discussion ensued regarding the extensive research staff performed to identify the most suitable replacement option. Assistant Harbormaster Anderson stated that performing site visits and test driving various models of vessels was beneficial in identifying and determining which vessel would perform best in the waters of the Monterey Bay.

In response to a question posed by Vice-chairman Reed, Assistant Harbormaster Anderson stated that the Moose Boats M3 vessel is well suited for carrying multiple passengers/victims due to its increased size and deck

space. He stated that the vessel will be equipped with two “cut outs” (in lieu of a swim step) that will aid in assisting victims onto the vessel.

Commissioner Goddard expressed support for the sole-source acquisition and stated that the walkaround cabin design feature will provide additional safety benefits to the crew.

In regards to funding, Port Director Olin stated that a final grant agreement will be drafted once all project information forms are submitted to the State. She stated that reimbursement under the grant will be issued upon project completion. Deficit spending from the CIP (currently \$18,277 allocated for vessel replacement) will occur until reimbursement is received.

The Commission was supportive of moving forward with a sole-source acquisition of a Moose Boats M3 patrol vessel. Commissioner Goddard noted that the new patrol vessel will be a tremendous resource for the community.

- MOTION: Motion made by Commissioner Goddard, seconded by Vice-chairman Reed to:
- a) Approve Resolution 19-08 – Authorizing the Port Director to execute grant agreement documents with the State of California for patrol vessel funding; and
 - b) Authorize the purchase of a replacement patrol vessel manufactured by Moose Boats in an amount not to exceed \$537,675.
- *Motion carried unanimously.*

5. Approval of Resolution 19-09 – Adopting the Personnel Policies Handbook

Discussion: Port Director Olin stated that the District’s current handbook has not been updated since January 2012. She stated that the revised policies are intended to strengthen current processes and provide greater transparency to both employees and administrators.

Port Director Olin stated that revisions can be classified into the following categories:

- Legal Compliance (changes necessary to comply with applicable laws)
- Best Practices (changes for improved management)
- Substantive Changes (significant changes to current policies)

Commissioner Goddard stated that it may be beneficial for the Port District to develop an appendix to the Port Commission’s Policies/Procedures Manual to define and outline the roles, purpose, and function the Port Commission plays relative to Human Resources. Port Director Olin stated that this item can be added to the calendar as a future item.

MOTION: Motion made by Commissioner Goddard, seconded by Vice-chairman Reed to approve Resolution 19-09 – Adopting the Personnel Policies Handbook, dated September 24, 2019.
- *Motion carried unanimously.*

6. Acceptance of Final FY19 Audited Financial Statement

Discussion: Port Director Olin presented the final FY19 audited financial statement, noting the only variances from the draft audit presented in August are two minor changes based on input from the Commission during the review of the draft audit:

- Note 2 Cash and Cash Equivalents has been modified to include a statement about the investment policy adopted by the Port Commission in November 2018.
- Note 8 Operating Leases has been modified to clarify that minimum future lease income to be received is based on non-cancelable rent and concession leases.

In response to a question posed by Commissioner Goddard, Port Director Olin confirmed that the FY19 financial statements were reported in a single-year format, due to the implementation of GASB 75. She stated that the FY20 financial statement will revert to a two-year format for comparison purposes.

MOTION: Motion made by Vice-chairman Reed, seconded by Commissioner Gertler to accept the FY19 audited financial statement.
- *Motion carried unanimously.*

7. Approval of Cash / Payroll Disbursements – August 2019

Discussion: Chairman Smith commented that the District's expenses for legal consultation and utilities are significant.

In response to a question posed by Commissioner Goddard, Port Director Olin confirmed that Warrant #52142 – Beach Dozer Rental, pays multiple invoices that were not received until recently.

A brief discussion ensued regarding Warrant #52161 – Generator for *Twin Lakes*. Port Director Olin stated that the previous generator was not under warranty and in need of replacement due to the marine environment. She stated that a protective cover has been fabricated for the new generator to mitigate exposure to environmental factors.

In response to a question posed by audience member Tom Whieldon, Port Director Olin stated that First Alarm provides overnight security at the harbor

and has done so for many years. She stated that scheduling changes have been made to ensure there is more overlap and training between First Alarm and Deputy Harbormaster staff, to enhance harbor security.

In response to a question posed by audience member Tom Whieldon regarding Washington Representation, Commissioner Goddard stated that the small monthly expense results in a significant return on investment to the Port District.

MOTION: Motion made by Vice-chairman Reed, seconded by Commissioner Goddard to approve cash/payroll disbursements for August 2019, in the amount of \$1,176,057.77.

- *Motion carried unanimously.*

INFORMATION

8. Port Director's Report

October Commission Meeting

Port Director Olin announced that the Regular Public Session of October 22, 2019, has been rescheduled to October 29, 2019, at 7:00 PM.

Monterey Bay Air Resources District (MBARD)

Port Director Olin stated that Administrative Services Manager MacLaurie has worked with MBARD to finalize revisions to the District's hydrogen sulfide nuisance protocol for the 2019-20 dredge season.

Aldo's Seawall Replacement Project

Port Director Olin stated that work on the Aldo's Seawall Replacement Project continues. She stated that Granite Construction is driving the last of the sheet piles this week, and then will begin preparations for the tieback installation.

Pile Removal and Replacement Project

Port Director Olin stated that Phase 2 of the Pile Repair and Replacement Project is underway. Bellingham Marine has assembled two barges to assist with the project and will mobilize to the north harbor within the coming days. Once work in the north harbor is complete, Bellingham will return to the south harbor to finish the remaining piles.

Boatyard Marine Ways Support Piles

Port Director Olin stated that Bellingham Marine will repair three support piles at the Boatyard marine ways as part of a change order to Phase 2 Pile Repair and Replacement Project. She stated that repair costs are estimated to be \$66,000 for all three piles.

Eastside Public Pier Pile Inspection

Port Director Olin stated that Moffatt & Nichol recently performed an inspection of the east side public pier pilings. She stated that a final inspection report is pending, but at least five piles have been identified for potential repair / jacketing.

Claims

Port Director Olin stated that the following claims have been settled:

- Klee - \$4,800 for vessel damage (struck by *Dauntless*)
- Flint - \$50 for miscellaneous damage to RV items (Sewage spill at RV Park)

Army Corps of Engineers Reimbursement

Port Director Olin stated that the reimbursement request for Quarters 1 and 2 have been paid by the Corps in the amount of \$192,500.

Pappy

Port Director Olin reported that Hogan Land Services has completed the design of a display cradle for *Pappy* and the District has authorized additional services for a preliminary cost estimate, which will be presented to the Commission for review at next month's meeting.

California Association of Harbormasters and Port Captains (CAHMPC)

Port Director Olin announced that Senior Deputy Harbormaster Kinnamon was recently honored with a Distinguished Service Award by the California Association of Harbormasters and Port Captains.

9. Harbormaster's Report (*There was no discussion on this agenda item*)
10. Review Vessel Insurance Compliance Report

Port Director Olin reviewed compliance statistics and reported that a majority of slip licensees are in compliance with the vessel insurance policy requirements. She stated that enforcement measures were not implemented when the policy was implemented. She recommended that the Policy-Operations Committee meet and consider enforcement options and develop a recommendation for consideration by the Commission.

11. Facilities Maintenance & Engineering Manager's (FME) Report

Chairman Smith commented on the District's new serrated cutterhead, which was recently installed on *Squirt*. Port Director Olin stated that the crew is hopeful the new cutterhead will increase productivity for inner-harbor dredging.

12. Sea Scouts' Bi-Annual Report

In response to a question posed by Chairman Smith, Port Director Olin stated that she has been in contact with Sea Scouts' Director, Kevin Melrose, and informed him that if he wishes to replace *Steeves* with a more suitable vessel, he is advised not to proceed until he has an approved plan and berthing for the vessel.

13. Delinquent Account Reporting (*There was no discussion on this agenda item*)
14. Review of Financial Reports (*There was no discussion on this agenda item*)
 - a) Comparative Seasonal Revenue Graphs

15. Crime/Incident/Citation Report – August 2019 *(There was no discussion on this agenda item)*
16. Written Correspondence *(There was no discussion on this agenda item)*
 - a) Letter from Aimee S. Mangan, Executive Director of BBBS, to Port Commission
17. Port Commission Review Calendar / Follow-Up Items *(There was no discussion on this agenda item)*

Chairman Smith adjourned the regular public session at 8:05 PM.

Dennis Smith, Chairman



TO: Port Commission
FROM: Port Director, Marian Olin
DATE: October 11, 2019
SUBJECT: Approval of Month-to-Month Rental Agreement for 275A Lake Avenue (Tenant: O'Neill Yacht Charters)

Recommendation: *Approve the month-to-month rental agreement.*

BACKGROUND

The Port District solicited bids for the office space located at 275 A Lake Avenue after the previous tenant provided notice and vacated the space in September 2019. The Port District received applications from six interested parties, including Team O'Neill LTD, all with varying proposals for use.

Staff recommends award of the month-to-month rental agreement to Team O'Neill LTD (dba O'Neill Yacht Charters). O'Neill currently conducts an approved charter operation within close proximity to the office space and proposes to utilize the space as a ticketing office.

The prospective tenant is prepared to take over the premises beginning November 1, 2019, with terms as outlined below. It should be noted that the office space will not be utilized for any activities associated with the O'Neill Sea Odyssey program.

ANALYSIS

Terms of lease: Month-to-Month
Tenant: Team O'Neill LTD dba O'Neill Yacht Charters (Tim O'Neill)
Space: 275A Lake Avenue (220SF)
Rent: \$877/mo. (\$3.99/SF) – Adjusted annually by CPI
Use: Office / ticketing space
Insurance: \$1 million with Santa Cruz Port District named as additional insured

IMPACT ON PORT DISTRICT RESOURCES

Approval of this lease will generate approximately \$10,524 per year in concession income.

ATTACHMENTS: A. Rental Agreement – 275A Lake Avenue

**SANTA CRUZ PORT DISTRICT
RENTAL AGREEMENT**

THIS AGREEMENT is made and entered into as of the Agreement date in Section 1, by and between the SANTA CRUZ PORT DISTRICT COMMISSION, a political subdivision, 135 5th Avenue, Santa Cruz, California, 95062, hereafter referred to as "Landlord," and Tenant indicated in Section 1, hereafter referred to as "Tenant."

RECITALS:

A. Landlord is the owner of that certain real property described in Section 1 and located in the City and County of Santa Cruz, State of California, as more particularly described in Exhibit A attached hereto and incorporated herein by this reference (the "Property").

B. Landlord desires to rent to Tenant and Tenant wishes to rent from Landlord the land and improvements as indicated in Exhibit A and described in Section 1 (the "Premises").

NOW, THEREFORE, in furtherance of the foregoing, and in consideration of the mutual covenants contained herein, Landlord and Tenant hereby agree as follows:

1. Rental of Premises. Landlord hereby rents the Premises to Tenant, and Tenant rents the Premises from Landlord, for the term, at the rental, and upon the other terms and conditions summarized in this Section and more fully described in subsequent sections:

Agreement Date:	<u>October 1, 2019</u>	Term:	<u>Month to Month</u>
Tenant:	<u>Team O'Neill LTD dba O'Neill Yacht Charters (Tim O'Neill)</u>		
Property:	<u>275A Lake Avenue</u>		
Premises:	<u>Office Space</u>		

	<i>Fixed Minimum</i>	<i>Time Period</i>	<i>Percentage Rent</i>	<i>Based On</i>
Rent:	<u>\$877.00</u>	<u>per month</u>	<u>N/A</u>	<u>N/A</u>

Rent Payable:	<u>Monthly</u>	on:	<u>the 1st</u>	starting:	<u>November 1, 2019</u>
Rent Adjusted:	<u>annually</u>	on:	<u>April 1</u>	based on:	<u>SF Bay Area CPI</u>
Deposit:	<u>\$877.00</u>	paid:	<u></u>		

Use: Office space to be used for O'Neill Yacht Charters business administration and customer service ticketing office.

Tenant Insurance Requirements:	<u>Casualty</u>	<u>N/A</u>	<u>Liability</u>	<u>\$1 million</u>
--------------------------------	-----------------	------------	------------------	--------------------

Notice of Rent Adjustment:	<u>30 days</u>	Notice of Termination:	<u>30 days</u>
----------------------------	----------------	------------------------	----------------

	<i>Landlord</i>	<i>Tenant</i>
Notice Addresses:	<u>Santa Cruz Port District</u>	<u>O'Neill Yacht Charters</u>
	<u>Attn: Port Director</u>	<u>Tim O'Neill</u>
	<u>135 5th Avenue</u>	<u>P.O. Box 6300</u>
	<u>Santa Cruz, CA 95062</u>	<u>Santa Cruz, CA 95063</u>

2. Term. The term of this agreement shall be month-to-month, commencing as of the date indicated in Section 1.

3. Notice of Termination. Landlord or Tenant may terminate this agreement with advance written notice to the other party. Such written notice must be given on the first day of the calendar month and shall be in advance of its effective date by the number of days indicated in Section 1.

4. Rent.

(a) Fixed Minimum Rent. As described in Section 1, Tenant shall pay to Landlord a fixed amount of rent ("Fixed Minimum Rent") which shall be subject to periodic adjustment as described in subparagraph 4(b).

(b) Adjustment of Fixed Minimum Rent. Landlord shall notify Tenant if rent is to be adjusted as indicated in Section 1. Any adjustment shall be effective as indicated in Section 1.

(c) Payment of Fixed Minimum Rent. Fixed Minimum Rent shall be payable as indicated in Section 1, in advance, without notice, offset, or abatement. All rent and other sums payable by Tenant hereunder shall be paid to Landlord in currency of the United States of America (or by personal check unless Landlord otherwise notifies Tenant) at Landlord's address set forth in Paragraph 23 hereof, or at such other place as Landlord may from time to time designate in writing.

(d) Deposit. Tenant shall also pay the amount indicated in Section 1, to be held as security deposit.

5. Use.

(a) Permitted Uses. Tenant shall use the Premises solely for the use indicated in Section 1 and for no other uses whatsoever. Tenant acknowledges that Landlord has made no warranties or representations to Tenant regarding the suitability of the Premises for Tenant's intended use, and Tenant waives all claims against Landlord regarding the suitability of the Premises for Tenant's intended uses. Landlord reserves the right to fix and determine rates charged (per Section 72 H&N).

(b) Roof. Tenant shall have no right to use any portion of the roof of the Building for any purpose.

(c) Continuous Use. Tenant shall continuously and uninterruptedly during the Agreement term, occupy and use the Premises for the purposes permitted under this Agreement.

(d) Hazardous Materials. No goods, merchandise, or materials shall be kept, stored, or sold in such a manner as to create any unusual hazard on the Premises; and no offensive or dangerous trade, business, or occupation shall be conducted thereon, and nothing shall be done on the Premises which will cause an increase in the rate of or cause a suspension or cancellation of the insurance upon the Premises or upon adjacent properties or improvements thereon.

No machinery or apparatus shall be used or operated on the Premises, which will in any way injure the Premises, or adjacent properties or improvements thereon.

Tenant shall indemnify Landlord from any damages suffered by Landlord, including, without limitation, cleanup costs, as a result of the generation, use, storage, transport, or release of hazardous materials by Tenant in, on, or about the Premises or the Property. For the purpose of this Agreement, the term "hazardous materials" shall mean (A) those substances listed in Title 22 section 66680 of the California Administrative Code, (B) substances within the criteria set forth in Title 22 sections 66693 through 66723 of the California Administrative Code, (C) substances which, at any time during the term hereof, are added to the list described in paragraph (A) above or which are within any future criteria described in subparagraph (B) above, (D) petroleum and all byproducts and distillates thereof, and (E) asbestos. Prior to bringing or allowing any hazardous materials to be brought onto the Premise or Property, Tenant shall notify Landlord as to the identity of said materials and the safeguards to be used in connection therewith. Landlord shall be entitled, in its sole discretion, to refuse to allow hazardous materials to be brought onto the Premises or Property. Landlord's consent to the introduction of any hazardous material onto the Property (i) shall not release Tenant from its duty to indemnify Landlord for any damages resulting from such materials, (ii) shall not be deemed to waive Landlord's right to disapprove of any subsequent introductions of hazardous materials onto the Property whether of the same or of a different nature than the material to which Landlord consented, and (iii) may be revoked at any time, in Landlord's sole discretion, whereupon Tenant shall remove such materials from the Property within five (5) days of receipt of Landlord's demand for removal. In all events, if any hazardous materials become located upon the Property for any reason other than as consented to by Landlord in accordance with the foregoing procedure; Tenant shall immediately notify Landlord as to the same.

(e) Effect on Navigable Waters. Under federal law, no construction, installation, dredging, filling, or other activity, which would have an effect on navigation, may be conducted in or adjoining navigable waters without a permit therefore first being issued by the Secretary of the Army. The Port Director determines whether any proposed facility of Tenant may be construed to have an effect on navigation. In the event the Port Director so determines, Tenant shall prepare at its expense a permit application for submittal by Landlord in Landlord's name to the Corps of Engineers, United States Army. The permit application shall be prepared in strict conformity with regulations published by the United States Army.

(f) Non-permitted Uses. Tenant shall not permit the Premises to be used for any purpose not described in Paragraph 5(a) or for any unlawful purpose; and Tenant shall not perform, permit, or suffer any act of omission or commission upon or about the Premises which would result in a nuisance or a violation of the laws and ordinances of the United States, State of California, or City of Santa Cruz, as the same may be now or hereafter in force and effect. Without limiting the generality of the foregoing, Tenant specifically agrees not to cause or permit generation of unreasonable levels of noise from other sources, which might disturb liveaboard slip licensees, or residential neighbors of the Port District from 9:00 pm until 6:00 am each day during the lease term. Tenant further specifically agrees to prevent emission from the Premises into the air of any smoke or other noxious substances, or any odors reasonably deemed offensive to personnel of Landlord, liveaboard slip licensees or residential neighbors of the Port District.

(g) Compliance with Laws. Tenant shall abide by all applicable rules, codes, regulations, resolutions, ordinances and statutes of Landlord, the City of Santa Cruz, County of Santa Cruz, California Coastal Commission, State of California, or other governmental body where applicable, respecting the use, operation, maintenance, repair or improvement of the Premises and equipment therein, and shall pay for any and all licenses or permits required in connection with the use, operation, maintenance, repair, or improvement of the Premises.

6. Ownership of Improvements. All structures, buildings, improvements, additions, and fixtures now existing or hereafter constructed, erected, or installed in or upon the Premises, and all alterations and additions thereto, shall be deemed a part of the Premises and title thereto shall be deemed vested in and remain in Landlord during the agreement term, and upon expiration or sooner termination of the agreement term shall remain upon and be surrendered with the Premises as part thereof.

7. Construction of Improvements.

(a) No Landlord Improvements. Landlord shall not be obligated to install or construct any improvements, additions, or alterations (collectively called "improvements") on the Premises during the agreement term.

(b) Tenant Improvements. Tenant may, at Tenant's expense, construct certain new additions and improvements to the Premises required in connection with the conduct of Tenant's business; provided, (a) that Tenant shall obtain, at Tenant's expense, all necessary plans and specifications for the construction of said additions and improvements, (2) that Tenant's plans and specifications shall be subject to review and prior written approval by Landlord, and (3) that Tenant shall be responsible for obtaining, at Tenant's expense, all necessary governmental permits and approvals for construction of any new additions or improvements to the Premises.

(c) Liens. Tenant shall keep the Premises free from any liens arising out of any work performed, materials furnished, or obligations incurred by Tenant. Tenant shall indemnify and hold Landlord harmless against liability, loss, damage, cost, and all other expenses (including but without limitation, attorneys' fees) arising out of claims of lien for work performed or materials or supplies furnished at the request of Tenant or persons claiming under Tenant.

8. Taxes and Assessments.

(a) Payable by Tenant. Tenant shall pay directly to the taxing authority during each year or partial year during the term hereof, all real and personal property taxes, general and special assessments, use and possessory taxes, environmental protection charges, and other charges of every kind or description whatsoever, foreseen or unforeseen, levied on or assessed against the Premises, improvements or personal property therein, the leasehold estate or any personal property therein, the leasehold estate or any subleasehold estate permitted by Landlord. Tenant shall pay each installment of such taxes and assessments prior to the date such installment becomes delinquent. The taxes and assessments to be paid by Tenant hereunder shall be prorated at the end of the agreement term, in order that Tenant will pay only the proportionate part of said taxes and assessments attributable to the period of the agreement term, based on the ratio of the unit's square feet to the building's total square feet.

(b) Substitute Taxes. If at any time during the agreement, under the laws of the United States of America, the State of California, or any political subdivision thereof in which the Premises are located, a tax on rent or other charge by whatever name called, is levied, assessed, or imposed against Landlord, or against the rent payable hereunder to Landlord, as a substitute in whole or in part for any of the taxes described in Paragraph 8(a), Tenant, to the extent such substitute tax or other charge relieves Tenant from the payment of taxes provided for herein, shall pay such tax or other charge in the manner provided in this Paragraph 8.

9. Insurance.

(a) Casualty Insurance. If indicated in Section 1, Landlord shall, at Tenant's expense, procure and maintain in full force and effect at all times during the term of this agreement, fire, and extended coverage insurance satisfactory to Landlord covering the Premises and all improvements therein in an amount not less than ninety percent (90%) of the actual replacement cost thereof. The insurance provided for in this Paragraph 9(a) shall, in Landlord's sole discretion, provide protection against all perils included within the classification of fire, extended coverage, vandalism, malicious mischief, special extended perils (all risk), including earthquake, and loss of rents covering Fixed Minimum Rent for a period of up to twelve (12) months, and shall contain an inflation endorsement. Insurance proceeds thereunder shall be payable to Landlord. Landlord shall have no obligation to insure against loss by Tenant to Tenant's leasehold improvements, fixtures, furniture, or other personal property in or about the Premises occurring from any cause whatsoever and Tenant shall have no interest in the proceeds of any insurance carried by Landlord. Landlord shall be entitled to carry any such insurance in the form of a blanket policy covering property in addition to the Premises. Tenant shall reimburse Landlord upon demand for its share of the cost to Landlord of any insurance policy or policies, which Landlord may carry on the Premises in accordance with this paragraph. Such costs shall include both premiums and deductibles. Tenant's share of the cost of such insurance shall be a prorated share based upon the portion of the building square footage contained within the Premises, or if in Landlord's reasonable judgment the foregoing square footage based apportionment does not fairly apportion the insurance costs related to the building, Landlord may adjust such insurance costs as appropriate to reflect any disparity in risk level or other factors which may affect the relative cost of insurance between and among all tenants of the building; as to any blanket policy of insurance covering properties other than the building, the portion of insurance costs allocable to the building shall be as equitably determined by Landlord. The premiums for such insurance of Landlord shall be prorated as of the expiration of the agreement term so that Tenant pays only for insurance coverage attributable to the agreement term.

(b) Liability Insurance. Tenant, at Tenant's sole expense, shall provide and keep in force at all times during the term of this agreement for the benefit of Landlord and Tenant general liability insurance policies with an insurance company reasonably satisfactory to Landlord, protecting Landlord and Tenant against any and all liability occasioned by any occurrence in, on, about, or related to the Premises in an amount not less than the amount indicated in Section 1, single combined limit for personal injury and property damage. Tenant shall cause Landlord to be named as an additional insured under such policy.

(c) Workers' Compensation Insurance. Tenant shall procure, at its own expense, and shall keep in force during the agreement term, adequate insurance against liability arising on account of injuries or death to workers or employees on the Premises. Such workers' compensation insurance shall be in amounts at least equal to the maximum liability of Tenant, its agents, and contractors under the Workers' Compensation Insurance and Safety Act of the State of California or other applicable laws.

(d) Other Insurance. Tenant shall procure, at its sole cost and expense, and shall keep in force, such other insurance in amounts from time to time reasonably required by Landlord against other insurable risks if at the time they are commonly insured against for business operations similar to that of Tenant.

(e) Written Notice of Cancellation or Reduction. Each policy of insurance, which Tenant is required to procure and maintain in effect, shall contain the following clause:

"It is agreed that this policy shall not be cancelled nor the coverage reduced until thirty (30) days after the Port Director of Santa Cruz Port District shall have received written notice of such cancellation or reduction. The notice shall be sent by certified or registered mail and shall be deemed effective the date delivered to said Port Director, as evidenced by properly validated return receipt."

(f) Waiver of Subrogation. Tenant and Landlord each hereby waives any and all rights of recovery against the other, and against the officers, employees, agents and representatives of the other, for loss of or damage to such waiving party or its property or the property of others under its control, where such loss or damage is insured against under any insurance policy in force at the time of such loss or damage to the extent of the insurance proceeds actually paid in connection therewith. Tenant and Landlord shall, upon obtaining any of the policies of insurance required or desired hereunder, give notice to the insurance carrier or carriers that the foregoing mutual waiver of rights of recovery is contained in this agreement, and shall each use their best efforts to cause the insurer for each such policy to waive in writing any rights of subrogation it may have against the other party.

(g) Submittal of Policies. Tenant agrees to deposit with Landlord, at or before the times at which the insurance policies necessary to satisfy the insurance provisions of this agreement are required to be in effect, a copy of each such policy or policies required hereunder and to keep such insurance in effect and the policy or policies therefore on deposit with Landlord during the entire term of this agreement.

(h) Review of Coverage. Landlord shall retain the right at any time to review the coverage, form, and amount of the insurance required hereby. If, in the opinion of Landlord, the insurance provisions in this agreement do not provide adequate protection for Landlord and for members of the public using the Premises, Landlord may require Tenant to obtain (or may obtain at Tenant's expense) insurance sufficient in coverage, form and amount to provide adequate protection. Landlord's requirements shall be reasonable but shall be designed to assure protection from and against the kind and extent of the risks, which exist at the time a change in insurance is required.

Landlord shall give Tenant written notice of changes in the insurance requirement and Tenant shall deposit copies of acceptable insurance policies with Landlord incorporating such changes within sixty (60) days following receipt of such notice.

The procuring of such required policy or policies of insurance shall not be construed to limit Tenant's liability hereunder nor to fulfill the indemnification provisions and requirements of this agreement. Notwithstanding said policy or policies or insurance, Tenant shall be obligated for the full and total amount of any damage, injury, or loss caused by Tenant's negligence or neglect connected with this agreement or with use or occupancy of the Premises.

(i) Landlord's Remedies. In case of failure on the part of Tenant to procure or to maintain in effect any insurance which Tenant is required to carry as provided in this Paragraph 9, Landlord may at its discretion, and in addition to any other remedies it may have upon failure of Tenant to procure or to maintain in effect any insurance which Tenant is required to carry as provided in this Paragraph 9, procure or renew such insurance and pay any and all premiums therefore and all monies so paid by Landlord shall be repaid by Tenant to Landlord upon demand.

10. Indemnification.

(a) Tenant's Hold Harmless. Tenant hereby indemnifies Landlord against and holds Landlord harmless from any and all claims, damage, cost, liability, or expense, including but not limited to attorneys' fees and costs of suit, resulting from or arising out of Tenant's use of the Premises, Tenant's default in the performance of any obligation of Tenant under this agreement, any act or failure to act of Tenant or any employees, agents, contractors, customers, or other invitees of Tenant occurring in or about the Premises, or construction of any improvements by Tenant in the Premises. Such indemnification specifically includes without limitation any damage to property or injury or death to any person arising from the use of the Premises by Tenant or from the failure of Tenant to keep the Premises in good condition, order, and repair. Tenant expressly agrees to exercise due care in the handling of fuel or any other flammable materials in, on, or around the Premises. Tenant shall maintain on the Premises adequate firefighting equipment, which shall remain under the use, control, maintenance, and repair of Tenant.

(b) Tenant's Waiver of Claims. Tenant hereby waives all claims against Landlord for damage to any property, goods, wares, or merchandise of Tenant stored in, upon, or about the Premises, and for injury to persons in, upon, or about the Premises from any cause whatsoever arising at any time, except as may be caused by the active negligence or willful misconduct of Landlord. Landlord shall not be liable to Tenant for any damage caused by any act or negligence of any person, other than Landlord's personnel, in, upon, or about the Premises, whether a customer of Tenant or otherwise. Tenant expressly waives any claims against Landlord for damage to Tenant's business on the Premises or loss of goodwill or any other damage to Tenant arising from complete or partial closure of the Santa Cruz Harbor at any time and from time to time, whether such closure shall result from inclement weather, excess deposits of sand in the harbor, or any other reason whatsoever. Landlord shall have no obligation or responsibility to dredge the entrance channel of the Santa Cruz Harbor.

11. Maintenance and Repairs.

(a) Tenant's Obligations. Subject to Paragraph 15 below relating to damage and destruction, and subject to Landlord's maintenance responsibilities set forth in Paragraph 11(c) below, through the term of this agreement Tenant shall, at Tenant's sole cost and expense, maintain the Premises and every part thereof, and all fixtures, machinery and equipment located in or on the Premises and utilized in the conduct of Tenant's business in first class condition, order and repair, and in accordance with all applicable laws, rules, ordinances, orders and regulations of (1) municipal, county, state, federal, and other governmental agencies and bodies having or claiming jurisdiction of the Premises and all their respective departments, bureaus, and officials; and (2) all insurance companies insuring all or any part of the Premises or improves or both. For purposes of this paragraph, the obligation to repair includes the obligation to replace as and when reasonably necessary. Tenant hereby waives such rights as it may have under California Civil Code Sections 1941 and 1942 and any similar or successor laws that permit a tenant to perform repairs and offset the cost thereof against rent.

(b) Outside Areas. Tenant acknowledges that the cleanliness and neat and attractive appearance of the interior and exterior of the Building and all other areas of the Premises are a material concern of Landlord. Accordingly, Tenant shall continuously exercise diligence throughout the agreement term in keeping the Premises and the Outside Area in a neat, clean, sanitary, and attractive condition. Tenant shall arrange for regular and prompt disposal of garbage generated by Tenant's operations on the Premises, and shall not permit garbage or refuse to accumulate in or around the Premises. Tenant shall not cause or permit offensive odors to emanate from the Premises.

(c) Landlord's Obligations. Notwithstanding anything to the contrary contained in this Paragraph 11, and subject to the provisions of Paragraph 15 below relating to damage and destruction, Landlord shall maintain in good condition, order and repair the parking area upon the Property, the heating, ventilation and air conditioning equipment, if any, servicing the Premises, and the structural portions of the Building, including the roof, walls and foundation of the Building, except to the extent any such maintenance is necessitated by damages due to the negligence or greater culpability of Tenant, its agents, employees or invitees. Landlord shall have no obligation to maintain or repair under this Paragraph 11(c) until a reasonable period of time after receipt by Landlord of notice from Tenant of the need therefore, specifying the nature of the maintenance or repair needed.

12. Utilities. Tenant shall pay promptly as the same become due and payable its pro rata share of all bills and costs for water, gas, electricity, refuse pickup, sewer service charges, and any other utilities or services supplied to the Premises as indicated in Section 1. Tenant shall pay its pro rata share of utilities within five (5) days of receiving notice from Landlord as to the amount thereof. The parties hereby agree that Tenant's pro rata share of said utility costs shall be reasonably calculated by Landlord and conveyed to Tenant. In no event shall Landlord be liable to Tenant for any interruption or failure of any utility services to the Premises.

13. Assignment and Subletting.

(a) Landlord's Consent Required. Tenant shall not assign, sublease, mortgage, pledge, hypothecate, encumber, or transfer the Premises or any part thereof, or this agreement or any rights or obligations hereunder without Landlord's written consent.

(b) Incorporation of Terms. Should Landlord consent to any Transfer such consent shall not constitute a waiver of any of the terms, covenants, or conditions of this agreement. Such terms, covenants, or conditions shall apply to each and every transfer hereunder and shall be severally binding upon each and every encumbrancer, assignee, transferee, subtenant, or other successor in interest of tenant. Any document to mortgage, pledge, hypothecate, encumber, transfer, sublet, or assign the Premises or any part thereof shall incorporate directly or by reference all the provisions of this agreement.

14. Damage or Destruction.

(a) Partial Damage-Insured. Subject to the provisions of Paragraphs 15(c) and 15(d), if the Premises or any improvements therein are damaged, such damage involves damage to the building to the extent of less than eighty percent (80%) of the then replacement value thereof (excluding excavations and foundations of the building), such damage was caused by an act or casualty covered under an insurance policy provided for in Paragraph 9, and the proceeds of such insurance received by Landlord are sufficient to repair the damage, Landlord shall at Landlord's expense repair such damage as soon as reasonably possible and this agreement shall continue in full force and effect.

(b) Partial Damage-Uninsured. Subject to the provisions of Paragraphs 15(c) and 15(d), if at any time during the term hereof the Premises or any improvements are damaged, such damage involves damage to the Building to the extent of less than eighty percent (80%) of the then replacement value thereof (excluding excavations and foundations of the building), and the insurance proceeds received by Landlord are not sufficient to repair such damage, or such damage was caused by an act or casualty not covered under an insurance policy, Landlord may at Landlord's option either (a) repair such damage as soon as reasonably possible at Landlord's expense, in which event this continue in full

force and effect, or (b) give written notice to Tenant within thirty (30) days after the date of the occurrence of such damage of Landlord's intention to cancel and terminate this agreement as of the date of the occurrence of such damage.

(c) Total Destruction. If at any time during the term hereof either the Premises or the improvements contained therein are damaged from any cause, whether or not covered by the insurance provided for in Paragraph 9, and such damage involves damage to the Building to the extent of eighty percent (80%) or more of the replacement value thereof (excluding excavations and foundations of the Building), including any total destruction required by any authorized public authority, this Lease shall at the option of Landlord terminate as of the date of such total destruction. Landlord shall exercise its right to terminate this agreement by delivery of notice to Tenant within thirty (30) days after the date that Tenant notifies Landlord of the occurrence of such damage. In the event Landlord does not elect to terminate this agreement, Landlord shall at Landlord's expense repair such damage as soon as reasonably possible, and this Lease shall continue in full force and effect.

(d) Damage Near End of Term. If the Premises or the improvements therein are destroyed or damaged in whole or part during the last six (6) months of the term of this agreement, Landlord may at Landlord's option cancel and terminate this agreement as of the date of occurrence of such damage by giving written notice to Tenant of Landlord's election to do so within thirty (30) days after the date of occurrence of such damage.

(e) Abatement of Rent. Notwithstanding anything to the contrary contained elsewhere in this Lease, if the Premises are partially damaged and Landlord repairs or restores them pursuant to the provisions of this agreement Paragraph 14, the Fixed Minimum Rent payable hereunder for the period commencing on the occurrence of such damage and ending upon completion of such repair or restoration shall be abated in proportion to the degree to which Tenant's use of the Premises is impaired during the period of repair; provided that, nothing herein shall be construed to preclude Landlord from being entitled to collect the full amount of any rental loss insurance proceeds if such rental loss insurance is then carried with respect to the Premises. Except for abatement of rent, if any, Tenant shall have no claim against Landlord for any damage suffered by reason of any such damage, destruction, repair, or restoration.

(f) Waiver. Tenant waives the provisions of California Civil Code Sections 1932(2) and 1933(4), and any similar or successor statutes relating to termination of agreement when the agreement term is substantially or entirely destroyed, and agrees that such event shall be governed by the terms of this agreement.

(g) Tenant's Property. Landlord's obligation to rebuild or restore shall not include restoration of Tenant's equipment, merchandise, or any improvements, alterations or additions made by Tenant to the Premises.

(h) Notice of Damage. Tenant shall notify Landlord within five (5) days after the occurrence thereof of any damage to all or any portion of the Premises. In no event shall Landlord have any obligation to repair or restore the Premises pursuant to this Paragraph 14 until a reasonable period of time after Landlord's receipt of notice from Tenant of the nature and scope of any damage to the Premises, and a reasonable period of time to collect insurance proceeds arising from such damage (unless such damage is clearly not covered by insurance then in effect covering the Premises).

(i) Replacement Cost. The determination in good faith by Landlord of the estimated cost of repair of any damage, or of the replacement cost, shall be conclusive for purposes of this Paragraph 14.

15. Eminent Domain.

(a) Termination. In the event the whole or any part of the Premises is condemned in the lawful exercise of the power of eminent domain by any public entity, then this agreement shall terminate as to the part condemned on the date possession of that part is taken.

(b) Partial Taking Renders Economically Unfeasible. If only a part of the Premises is condemned, but such taking makes it economically unfeasible for Tenant to use the remainder of the Premises for the purposes contemplated by this agreement, then Tenant may, at its option, terminate this agreement as of the date possession of the condemned part is taken by giving written notice to Landlord of its intention within thirty (30) days following the date said possession is taken.

(c) Partial Taking with Business Continued. If only part of the Premises is condemned and this agreement terminated as set forth above, then this Lease shall, as to the condemned portion of the Premises, terminate as of the date possession of such portion is taken. The Fixed Minimum Rent shall thereupon be reduced in the same proportion that the area of the Premises taken bears to the initial total area of the Premises. Fixed Minimum Rent, as so reduced, shall continue to be subject to adjustment in accordance with Paragraph 4 hereof.

(d) Repairs. Tenant shall, at its sole cost and expense and in a prompt and expeditious manner, make all necessary repairs or alterations to the remainder of the Premises so as to make them reasonably suitable for Tenant's continued occupancy for those uses and purposes contemplated by this agreement.

(e) Compensation. All compensation awarded or paid upon the total or partial taking of the fee title to the Premises or part of the Premises, or for the taking of all or any portion of the Premises, shall belong to Landlord. The Building and other improvements made by Landlord on the Premises at Landlord's expense shall belong to Landlord. Landlord shall not be entitled to any compensation paid to Tenant for costs incurred by Tenant in removing its furniture, equipment, and trade fixtures from the condemned Premises.

16. Tenant Default. Tenant shall be deemed in default under this agreement upon occurrence of any of the following:

(a) Tenant Default

(1) Tenant fails to pay a monetary sum when due under this Lease (provided that Tenant shall not be deemed in default if Tenant pays such sum within ten (10) days after notice from Landlord that such sum is overdue; and provided further that, Tenant shall not be entitled to any such ten (10) day grace period or notice and shall be deemed in default immediately upon failure to so pay when due if Landlord has already delivered two notices of overdue payments within the immediately preceding twelve (12) month period;

(2) Tenant fails to perform any of its other obligations under this agreement provided that, if such failure is of the nature that it may be cured, Tenant shall not be deemed in default if Tenant cures such failure within twenty (20) days after notice from Landlord of such failure;

(3) Tenant's interest in the Premises or the Lease, or any part thereof, is assigned or transferred, either voluntarily or by operation of law (except as expressly permitted by other provisions of this agreement), including, without limitation, the filing of an action by or against Tenant, or by any member of Tenant if Tenant is a partnership or joint venture, under any insolvency or bankruptcy laws, or if Tenant makes a general assignment for the benefit of its creditors, or;

(4) Tenant vacates, abandons, or surrenders the Premises during the agreement term. In the event of a default by Tenant under this agreement, Landlord may pursue such remedies as it may have for such default under law or in equity, including but not limited to the remedies set forth below.

(b) Repossession. Landlord may repossess the Premises and remove all persons and property therefrom. If Landlord repossesses the Premises because of a breach of this Lease, this agreement shall terminate and Landlord may recover from Tenant:

(1) the worth at the time of award of the unpaid rent, which had been earned at the time of termination including interest at ten percent (10%) per annum;

(2) the worth at the time of award of the amount by which the unpaid rent which would have been earned after termination until the time of award exceeds the amount of such rental loss that Tenant proves could have been reasonably avoided including interest at ten percent (10%) per annum;

(3) the worth at the time of award of the amount by which the unpaid rent for the balance of the term after the time of award exceeds the amount of such rental loss for the same period that Tenant proves could be reasonably avoided, computed by discounting such amount by the discount rate of the Federal Reserve Bank of San Francisco at the time of award plus one percent (1%); and

(4) any other amount necessary to compensate Landlord for all the detriment proximately caused by Tenant's failure to perform its obligations under this agreement or which in the ordinary course of things would be likely to result therefrom.

(c) No repossession. If Landlord does not repossess the Premises, then this agreement shall continue in effect for so long as Landlord does not terminate Tenant's right to possession and Landlord may enforce all of its rights and remedies under this agreement, including the right to recover the rent and other sums due from Tenant hereunder. For the purposes of this Paragraph 16, the following do not constitute a termination of Tenant's right to possession:

(1) Acts of maintenance or preservation by Landlord or efforts by landlord to relent the Premises; or

(2) The appointment of a receiver by landlord to protect Landlord's interest under this agreement.

17. Attorneys' Fees. If any action at law or in equity shall be brought to recover any rent under this Lease, or for or on account of any breach of or to enforce or interpret any of the terms, covenants, agreements, or conditions of this agreement or for the recovery of the possession of the Premises, the prevailing party shall be entitled to recover from the other party, as a part of the

prevailing party's costs, reasonable attorneys' fees, the amount of which shall be fixed by the court and shall be made a part of any judgement rendered. "Prevailing party" within the meaning of this paragraph shall include, without limitation, a party who brings an action against the other party after the other party's breach or default, if such action is settled or dismissed upon the payment by the other party of the sums allegedly due or performance of the covenants allegedly breached or the plaintiff obtains substantially the relief sought by it in the action.

18. Removal of Property. Tenant hereby irrevocably appoints Landlord as agent and attorney in fact of Tenant to enter upon the Premises in the event of a default by Tenant in the payment of any rent herein reserved, or in the performance of any term, covenant, or condition herein contained to be kept or performed by Tenant, and to remove any and all furniture and personal property whatsoever situated upon the Premises, and to place such property in storage for the account of and at the expense of Tenant. In the event that Tenant shall not pay the cost of storing any such property after the property has been stored for a period of ninety (90) days or more, Landlord may sell any or all of such property, at public or private sale, in such manner and at such times and places as Landlord in its sole discretion may deem proper, without notice to Tenant or any demand upon Tenant for the payment of any part of such charge or the removal of any such property and shall apply the proceeds of such sale first to the costs and expenses of such sale, including reasonable attorneys' fees actually incurred; second, to the payment of the costs of any other sums of money which may then or thereafter be due to Landlord from Tenant under any of the terms hereof; and fourth, the balance, if any, to Tenant.

19. Subordination.

(a) Subordination of Lease. This agreement at Landlord's option shall be subordinate to any mortgage, deed of trust, or any other hypothecation for security now or hereafter placed upon all or any portion of the Premises and to any and all advances made on the security thereof and to all renewals, modifications, consolidations, replacements and extensions thereof. Notwithstanding such subordination, Tenant's right to quiet possession of the Premises shall not be disturbed if Tenant is not in default and so long as Tenant shall pay the rent, observe, and perform all of the provisions of this agreement unless this agreement is otherwise terminated pursuant to its terms. If any mortgagee or trustee shall elect to have this agreement prior to the lien of its mortgage or deed of trust, and shall give written notice thereof to Tenant, this agreement shall be deemed prior to such mortgage or deed of trust, whether this agreement is dated prior or subsequent to the date of said mortgage or deed of trust or the date of recording thereof.

(b) Execution of Documents. Tenant agrees to execute any documents required to effectuate such subordination or to make this agreement prior to the lien of any mortgage or deed of trust, as the case may be, and failing to do so within ten (10) days after written demand, does hereby make, constitute and irrevocably appoint Landlord as Tenant's attorney in fact and in Tenant's name, place and stead, to do so.

20. Landlord's Right to Reenter.

(a) Peaceable Surrender. Tenant agrees to yield and peaceably deliver possession of the Premises to Landlord on the date of termination of this agreement regardless of the reason for such termination. Upon giving written notice of termination to Tenant, Landlord shall have the right to reenter and take possession of the Premises on the date such termination becomes effective without further notice of any kind and without institution of summary or regular legal proceedings. Termination of the agreement and reentry of any Premises by Landlord shall in no way alter or diminish any obligation of Tenant under the Lease terms and shall not constitute an acceptance or surrender.

(b) Waiver of Redemption and Stipulated Damages. Tenant waives any and all right of redemption under any existing or future law or statute in the event of eviction from or dispossession of the Premises for any reason or in the event, Landlord reenters and takes possession of the Premises in a lawful manner.

21. Notices. All notices, statements, demands, requests, approvals or consents given hereunder by either party to the other party shall be in writing and shall be sufficiently given and served upon the other party if served personally or if sent by first class mail of the United States Postal Service, certified, return receipt requested, postage prepaid, and addressed to the parties as indicated in Section 1, or to such other address as any party may have furnished to the others as a place for the service of notice. Notices sent by mail shall be deemed served on the date actually received, as indicated on the return receipt.

23. No Commission. Landlord and Tenant each agree that Landlord and Tenant, respectively, have not had any dealings with any realtor, broker, or agent in connection with the execution of this agreement. Tenant shall pay the commission or compensation payable to any agent or broker employed by Tenant in connection with the execution of this agreement.

24. Waiver. The waiver by Landlord or Tenant of any breach of any term, covenant, or condition herein contained shall not be deemed to be a waiver of such term, covenant, or condition or any subsequent breach of the same or any other term, covenant, or condition herein contained. The subsequent acceptance of rent hereunder by Landlord shall not be deemed to be a waiver of any preceding breach by Tenant of any term, covenant, or condition of this agreement, other than the failure of Tenant to pay the particular rent so accepted, regardless of Landlord's knowledge of such preceding breach at the time of acceptance of such rent. Landlord's acceptance of partial payments of rent or any other sum due hereunder shall not be deemed a waiver of its right to recover the full amount of such payment and shall not be deemed an accord and satisfaction whether or not the amount due is disputed by the parties.

25. Holding Over. Any holding over after the expiration of the term with the consent of Landlord shall be construed to be a tenancy from month to month on the same terms and conditions specified herein so far as applicable.

26. Parking. Tenant acknowledges that all parking areas and all other common areas within the Santa Cruz Small Craft Harbor shall remain under the operation and control of Landlord. The manner in which such areas and facilities are operated and maintained shall be at the sole discretion of Landlord, and the use of such areas and facilities shall be subject to such rules and regulations as Landlord shall make from time to time. Landlord shall have the right to regulate access and parking and to install parking meters in such parking areas.

27. Non-Discrimination. Tenant agrees in the conduct of Tenant's business not to discriminate against any person or class of persons by reason of sex, race, creed, national origin, age, or physical condition. Tenant shall make its accommodations and services available to all persons on equal and reasonable terms.

28. Entry by Landlord. Landlord and its agents shall be entitled to enter into and upon the Premises at all reasonable times, upon reasonable notice (except in the case of an emergency, in which event no notice shall be required), for purposes of inspecting or making repairs, alterations or additions to all or any portion thereof, or any other part of the Building, including the erection and maintenance of such scaffolding, canopies, fences and props as may be required, or for the purpose of posting notices of non-responsibility for alterations, additions, or repairs, and during the one hundred eighty (180) day period prior to the expiration of this agreement to place upon the Premises any usual or ordinary "for rent" signs and exhibit the Premises to prospective tenants at reasonable hours, all without any abatement of rent and without liability to Tenant for any injury or inconvenience to or interference with Tenant's business, quiet enjoyment of the Premises, or any other loss occasioned thereby.

29. General.

(a) Entire Agreement. This agreement contains all of the terms, covenants, and conditions agreed to by Landlord and Tenant and it may not be modified orally or in any manner other than by an agreement in writing signed by all of the parties to this agreement or their respective successors in interest.

(b) Covenants and Conditions. Each term and each provision of this agreement performable by Tenant shall be construed to be both a covenant and a condition, all of which conditions shall be for the sole benefit of Landlord.

(c) Binding on Successors. The covenants and conditions hereof, subject to the provisions as to subletting and assignment, shall apply to and bind the heirs, successors, executors, administrators, sublessees, and assigns to the parties.

(d) Joint and Several Liability. All persons who have signed this agreement shall be jointly and severally liable hereunder.

(e) Gender. When the context of this agreement requires, the masculine gender includes the feminine, a corporation, or a partnership, and the singular number includes the plural.

(f) Captions. The captions of the numbered and lettered paragraphs of this agreement are for convenience only and are not a part of this agreement and do not in any way limit or amplify the terms and provisions of this agreement.

(g) Governing Law. This agreement shall be governed by and construed in accordance with the laws of the State of California.

(h) Time of Essence. Time is of the essence as to all of the provisions of this agreement.

(i) Partial Invalidity. If any term, covenant, condition, or provision of this agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remainder of the

provisions hereof shall remain in full force and effect and shall in no way be affected, impaired, or invalidated thereby.

(j) Relationship. Tenant shall not be an agent of Landlord for any purpose, and nothing in this agreement shall be deemed to create a partnership relationship between Tenant and Landlord.

(k) No Recordation. Tenant shall not record either this Agreement or a short form memorandum of this agreement.

(l) Calendar Days. All references herein to "days" shall mean calendar days unless otherwise stated.

IN WITNESS WHEREOF, the parties hereto have executed this agreement as of the date first above written.

"LANDLORD"

SANTA CRUZ PORT DISTRICT
COMMISSION,
a political subdivision

ATTEST:

Marian Olin
Port Director

By _____

"TENANT"

By 

Santa Cruz Port District
135 5th Avenue
Santa Cruz, CA 95062
831.475.6161
831.475.9558 Fax
www.santacruzharbor.org



PORT COMMISSIONERS:
Toby Goddard
Dennis Smith
Stephen Reed
Darren Gertler
Neli Cardoso

TO: Port Commission
FROM: Marian Olin, Port Director
DATE: September 27, 2019
SUBJECT: Approval of Exercise of Lease Option for Nexus Wealth Advisors

Recommendation: *Approve the exercise of lease option to extend the lease by 3 years, through November 30, 2022.*

BACKGROUND

The lease for Nexus Wealth Advisors, dated December 1, 2016, provides for two, two-year options to extend the lease term. Lance Wexler of Nexus Wealth Advisors has submitted a written request to exercise the first lease option, which will extend the lease by 3 years, through November 30, 2022.

The tenant is not currently in default of any provisions of the lease.

ANALYSIS

A summary of current terms is as follows:

Terms of lease:	Three years
Tenant:	Nexus Wealth Advisors
Space:	365 B Lake Avenue (approx. 1,770 SF, plus patio)
Rent:	\$4,994/mo.
Use:	Financial Adviser / Consulting and related uses
Insurance:	\$1 million with Santa Cruz Port District named as additional insured

IMPACT ON PORT DISTRICT RESOURCES

There is no cost to the Port District associated with the approval of the lease option.



TO: Port Commission

FROM: Holland MacLaurie, Administrative Services Manager

DATE: September 27, 2019

SUBJECT: Award of Contract for Consulting Services – Horizon Water and Environment (NTE: \$65,000)

Recommendation: *Approve the contract for consulting services.*

BACKGROUND

The U.S. Army Corps of Engineers (Corps) regulates and permits all in-water and overwater construction related activities performed within Santa Cruz Harbor (i.e. repair and maintenance to docks, piers, and piles). Over the years, staff has been successful in obtaining individual, project specific permits from the Corps on an as needed basis. The permit approval process is extensive and typically takes several months to complete.

In an effort to streamline the permit approval process staff is actively pursuing a Regional General Permit (RGP) from the Corps. The proposed RGP would authorize routine maintenance activities within Santa Cruz Harbor over a five-year period. Staff intends to propose a broad range of maintenance, repair and rehabilitation activities as part of the RGP. This broad-based authority will ensure critical maintenance, repair and rehabilitation projects are not delayed or put on hold because a permit is needed, and will expedite completion of emergency repair work. At a minimum, staff anticipates the permit will allow for as-needed maintenance and repair of existing facilities, including, but not limited to docks, brow piers, pilings, and shoreline stabilization, including seawalls. The RGP will not permit annual maintenance dredging activities.

Due to the extensive application process for the RGP, which may take upwards of 12 months, staff solicited quotes from consulting firms with direct, relevant experience in planning and project permitting for marine infrastructure projects. Horizon Water and Environmental submitted the most complete and comprehensive proposal in an amount not-to-exceed \$62,100.

Horizon Water and Environmental (Horizon) is an environmental consulting firm that began business in 2008. They specialize in planning, watershed science, and environmental compliance for water and natural resource projects. Horizon has extensive experience with regulatory requirements and permitting, and have established relationships with Corps personnel. Horizon has navigated the RGP process for other agencies, including the County of San Mateo.

ANALYSIS

Horizon will assist the District with all aspects of the RGP submittal process, which includes the following tasks:

TASK 1: PROJECT DEFINITION

Horizon will work with District staff to develop and define proposed infrastructure maintenance and repair activities.

Horizon will initiate a pre-application meeting with the Corps to confirm final direction and submittal requirements for the application. Horizon will subsequently revise the project description based on input received from the Corps, if needed.

TASK 2: TECHNICAL STUDIES

Wetland Delineation: Horizon will draft a preliminary jurisdictional delineation report for the proposed routine maintenance activities in the project area, in accordance with the Corps' 1987 Wetland Delineation Manual and 2010 Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0).

The Port District has performed jurisdictional delineations for previous projects, the most recent example being the Aldo's Seawall Replacement Project. Because it has been determined that non-tidal wetlands are not present within the harbor, staff anticipates utilizing pre-existing survey data to achieve savings and complete this portion of Task 2.

Biological Assessment: Horizon will prepare a biological assessment to support the Corps' Endangered Species Act (ESA) consultations for species covered by U.S. Fish and Wildlife and National Marine Fisheries Service.

The assessment will identify the potential for "take" of federally listed species and identification of specific avoidance and minimization measures to ensure that effects are avoided and minimized to the extent practicable.

Cultural Resources: In accordance with Section 106 of the National Historic Preservation Act, Horizon will develop an Area of Potential Effect for the project and a preliminary assessment of the area will be conducted for potential historic resources and archaeological sites using relevant maps and documents. There is pre-existing data available which can be utilized to achieve savings and complete this Task 2 requirement. Findings will be submitted to the Corps for consultations with State Historic Preservation Officer and interested local Native American organizations, as necessary.

Alternatives Analysis: Horizon will prepare a 404(b)(1) Alternatives Analysis report to determine if there is a practicable alternative to the proposed project (specific to construction activities only) that would have less adverse impact on the aquatic ecosystem, without other significant adverse consequences. This is relative to materials and methods to be employed for maintenance, rehabilitation and repair projects (e.g., use of a silt curtain for pile removal and replacement, or implementing best management practices to ensure harbor waters are not contaminated or polluted by maintenance activities).

TASK 3: PERMIT APPLICATION

Horizon will prepare a permit application package for submittal to the Corps. Horizon will routinely coordinate with the Corps to advance the application through the permitting process.

TASK 4: OTHER REGULATORY AGENCY COORDINATION

Horizon will coordinate with the Regional Water Quality Control Board, California Department of Fish and Wildlife, and California Coastal Commission to identify which permits may be required from these agencies. The Port District may choose to utilize the services of Horizon to assist in developing the necessary permit applications; however, those services are not covered under this contract.

IMPACT TO PORT DISTRICT RESOURCES

Horizon anticipates completing Tasks 1 and 2 at an amount not to exceed \$32,000 in FY20, and Tasks 3 and 4 in FY21 in an amount not to exceed \$33,000. Adequate funding for the project is available in the FY20 Environmental and Permitting budget, and adequate funding will be included in the FY21 budget.



TO: Port Commission
FROM: Marian Olin, Port Director
DATE: October 21, 2019
SUBJECT: Review / Approve Design Plans for *Pappy* Display Cradle and Authorize Public Bid Process

Recommendation: *Review and approve design plans and authorize public bid process for "Pappy" display cradle.*

BACKGROUND

The Commission reviewed the display cradle concept by Hogan Land Services for the vessel *Pappy* at its regular meeting on August 27, 2019. The Commission directed staff to proceed with the project based on the schematic design.

The project plans by Hogan Land Services are appended as Attachment A, and a cost estimate by Myles F. Corcoran is appended as Attachment B.

ANALYSIS

The project site is located on the harbor's east side on the parking lot island that separates the concession parking area from the launch ramp parking lot. *Pappy* would be placed on the cradle, facing the water. The project requires some minor excavation, and features low level lighting, pavers and a rope barrier. It requires removal of an existing shrub that is approximately 15' tall. The cradle has been designed to withstand seismic loads, and the cradle height has been lowered somewhat to reduce the height of the space underneath the vessel.

Geoff Fleissner of Hogan Land Services will attend the Commission meeting and be available to answer questions about the plans.

Staff recommends the Commission authorize a public bid process for the project.

IMPACT TO PORT DISTRICT RESOURCES

In FY19, the Commission authorized \$20,000 in funding to the Capital Improvement Program ("CIP") for the *Pappy* Park project.

Design plan and construction cost estimating contracts for the project total \$11,500. Factoring in a \$2,000 allowance for staff labor for the public bid process, obtaining permits, construction administration, preparing and setting *Pappy* on the cradle, there is approximately \$7,500 remaining in the CIP for this project.

The cost estimate by Myles Corcoran Construction Consulting is \$51,243. If bids are in keeping with the cost estimate, the funding shortfall is approximately \$43,750, not factoring in any contingency amount. As of September 2019, there is \$548,516 available in the Unallocated CIP fund. If the Commission authorizes bidding for the project to proceed, a recommendation to fund the project from the Unallocated CIP would be presented to the Commission for approval at the time of contract award.

Alternatively, the Commission may wish to consider authorizing construction of the cradle utilizing in-house crews, which would reduce overall project costs. While this is certainly feasible, current workload and impacts on personnel resources should be considered.

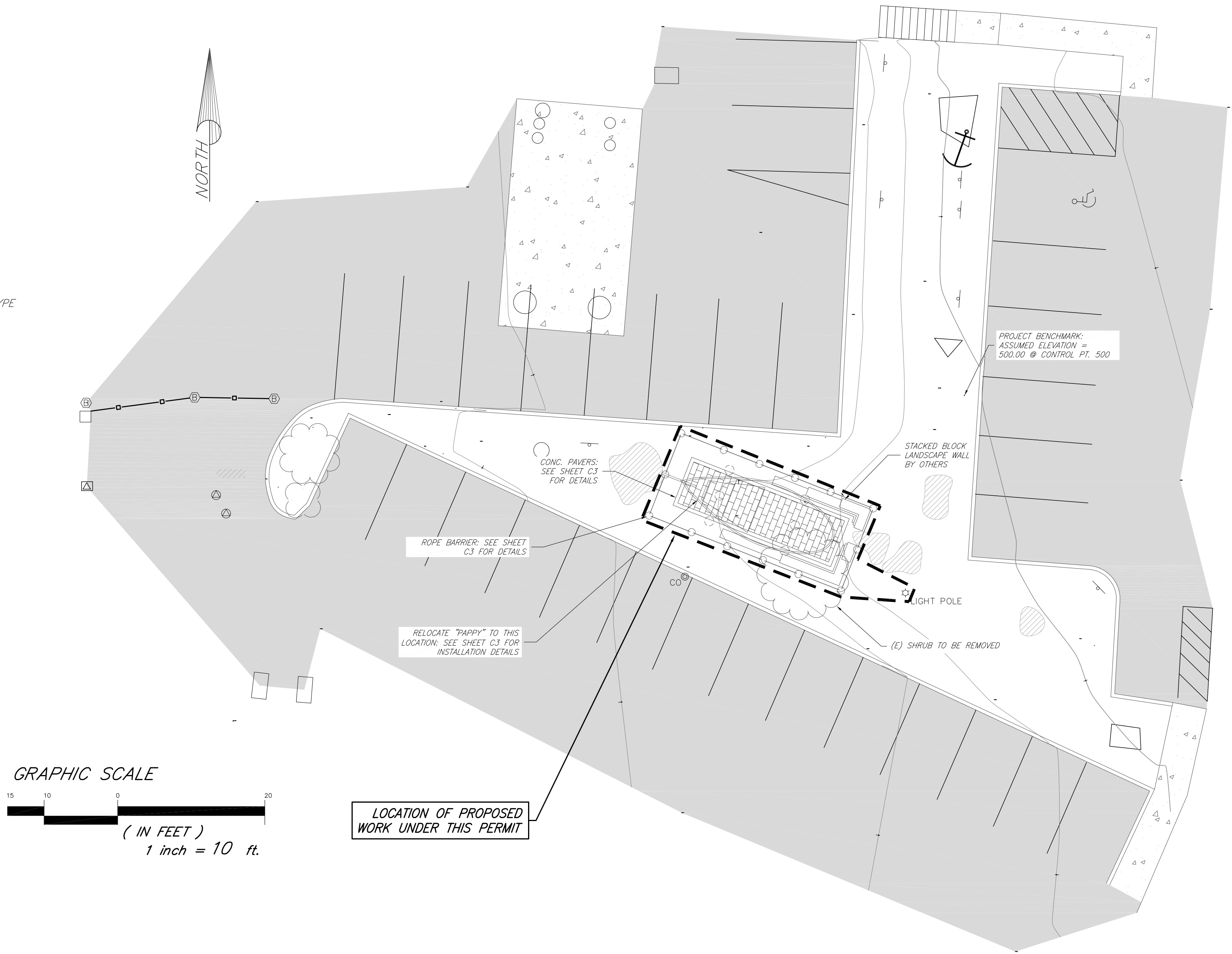
- ATTACHMENTS:
- A. Project Plans by Hogan Land Services
 - B. Cost Estimate by Myles F. Corcoran Construction Consulting, Inc.

SANTA CRUZ PORT DISTRICT "PAPPY" DISPLAY

135 5TH AVENUE
SANTA CRUZ, CA 95062

LEGEND

	RECORD BOUNDARY LINE
	(E) FLOWLINE
	(P) FLOWLINE
	EDGE OF GRAVEL ROAD
	WOOD FENCE
	WIRE FENCE
	DISTURBED AREA
	PROPOSED WORK
	FIBER ROLL BARRIER
	TREE PROTECTION
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	(E) CULVERT/STORMDRAIN W/SIZE & TYPE
	(P) PERFORATED/STORMDRAIN W/SIZE & TYPE
	(P) CULVERT/STORMDRAIN W/SIZE & TYPE
	(E) ASPHALT CONCRETE SURFACE
	(P) ASPHALT CONCRETE SURFACE
	(E) GRAVEL SURFACE
	(P) GRAVEL SURFACE
	(E) CONCRETE SURFACE
	(P) CONCRETE SURFACE
	ROCK FINISH
	DECKING
	LANDSCAPE AREA SAD
	PROPOSED FILL
	WALL
	RANDOM CONTROL POINT W/#
	EXISTING STORM DRAIN DROP INLET
	PROPOSED STORM DRAIN DROP INLET
	PROPOSED DOWNSPOUT LOCATION
	FIRE HYDRANT
	BOLLARD
	WELL
	SPOT ELEVATION
	FINISH ELEVATION
	TREE TYPE & DIA.
	TREE TO BE REMOVED
	WATER VALVE
	BUILDING CALLOUTS
	CONSTRUCTION KEYNOTES



ABBREVIATIONS

STMP	STUMP	RCP	REINFORCED CONCRETE PIPE
OAK	OAK TREE	INV	INVERT
LO	LIVE OAK TREE	FG	FINISHED GRADE
FIR	FIR TREE	FF	FINISHED FLOOR
RD	REDWOOD TREE	FS	FINISHED SURFACE
PN	PINE TREE	DI	DRAIN INLET
BAY	BAY TREE	SS	SANITARY SEWER
MNZ	MANZANITA TREE	CO	CLEAN OUT
LDS	LANDSCAPE TREE	CL	CENTERLINE
CLST	CLUSTER	TW	TOP OF WALL
SPP	SMOOTH PLASTIC PIPE	BW	BOTTOM OF WALL
SMP	SMOOTH METAL PIPE	AC	ASPHALT CONCRETE
CMP	CORRUGATED METAL PIPE	SAD	SEE ARCHITECTURAL DRAWINGS
TG	TOP OF GRATE	SSD	SEE STRUCTURAL DRAWINGS
AD	AREA DRAIN	LA	LANDSCAPE AREA
TBR	TO BE REMOVED	GB	GRADE BREAK
FSS	FIRE SAFE STANDARDS	UON	UNLESS OTHERWISE NOTED
(E)	EXISTING	DS	DOWNSPOUTS
(P)	PROPOSED	WL	WATER LEVEL
PERF	PERFORATE	OC	ON CENTER
O/	OVER	MIN	MINIMUM
EG	EXISTING GRADE	GEO	GEOLOGICAL
		MAX	MAXIMUM

EARTHWORK QUANTITIES TOTAL

SITE WORK -
 CUT = 8 C.Y.
 FILL = 0 C.Y.

OVEREXCAVATION AND RECOMPACTION = 0 C.Y.
 NET = 8 C.Y. (EXPORT)

DISTURBED AREA = 0.010 ACRES (431 SFT)

NOTE: APPROXIMATE EARTH QUANTITY PROVIDED FOR PERMIT VALUATION. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL MATERIAL TAKEOFFS.

SITE PLAN: "PAPPY" DISPLAY

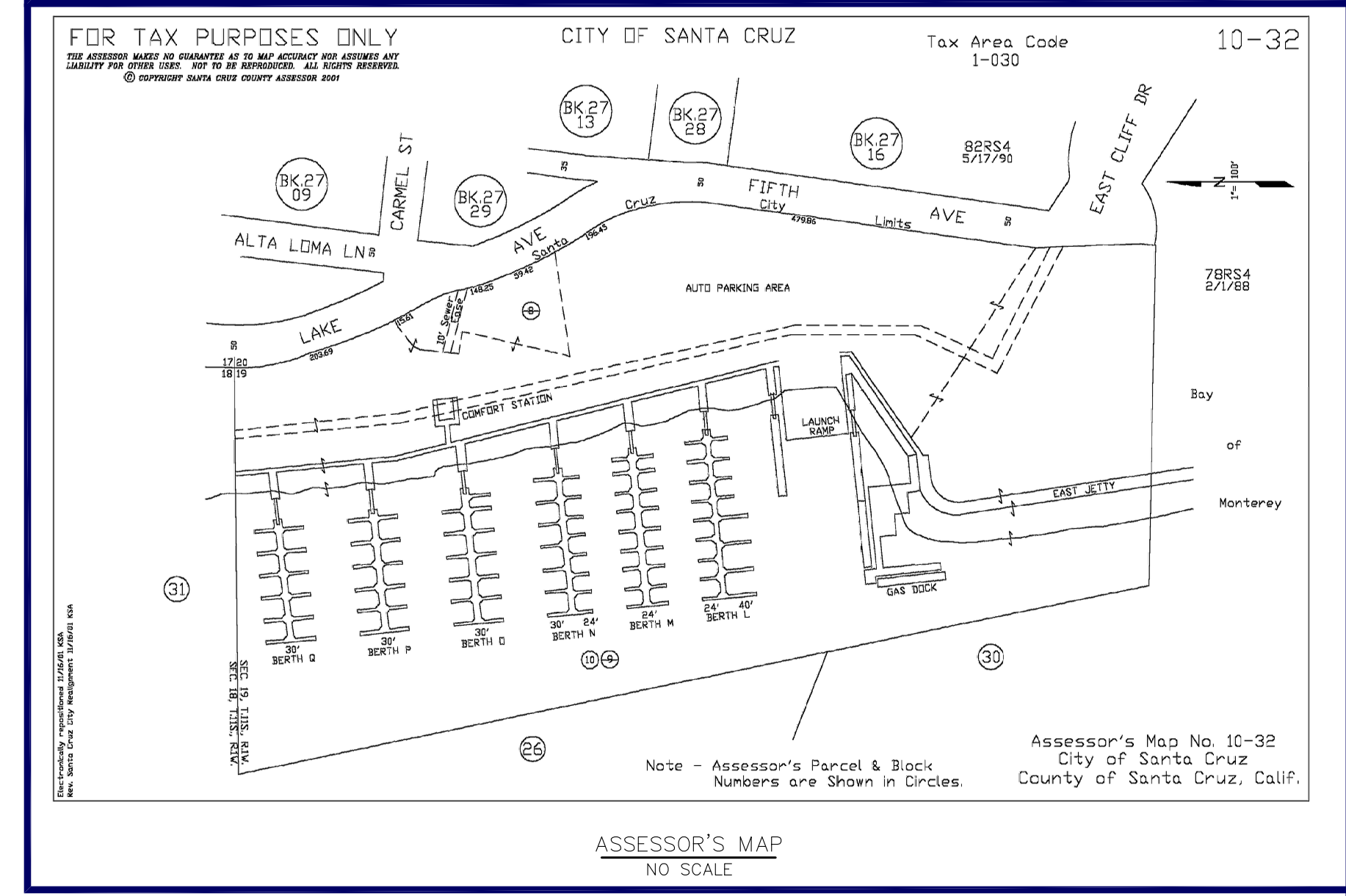
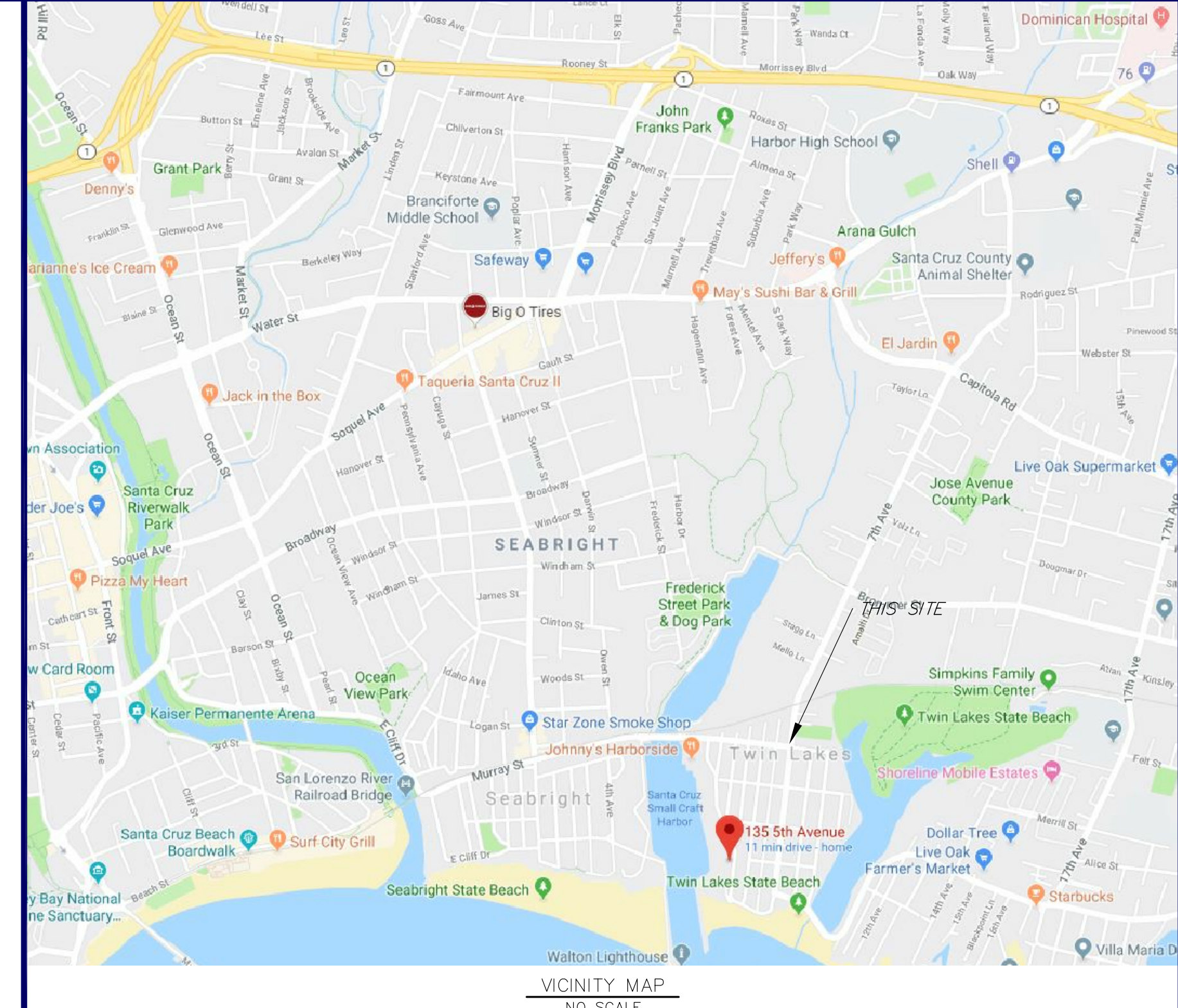
SCALE: 1" = 10'

SHEET INDEX

C1	TITLE SHEET
C2	PLAN, PROFILE & SECTIONS
C3	CONSTRUCTION NOTES & DETAILS

GENERAL NOTES

- ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES; 2016 CBC, CAL GREEN (2016 CALIFORNIA GREEN BUILDING CODE), CA ENERGY CODE AND SCMC TITLE 18.
- DRAWINGS ARE NOT TO BE SCALED. BUILDING/STRUCTURAL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE FOR GENERAL REFERENCE ONLY U.O.N. SEE THE ARCHITECTURAL DRAWINGS FOR ALL ACTUAL BUILDING DIMENSIONS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE STRUCTURAL ENGINEER/ARCHITECT OF ANY DISCREPANCIES ON THE DRAWINGS. CLARIFICATION OF ALL DISCREPANCIES IS REQUIRED PRIOR TO COMMENCING WITH THE WORK.
- STANDARD DETAILS AND NOTES ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE NOTED OR SHOWN. DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS. DETAILS NOT SHOWN, NOR DETAILED ON DRAWINGS, NOR CALLED FOR IN THESE NOTES SHALL BE CONSTRUCTED TO SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN, DETAILED OR SPECIFIED.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
- THE CONTRACTOR IS AT ALL TIMES SOLELY AND COMPLETELY RESPONSIBLE FOR DESIGN, ADEQUACY AND SAFETY OF TEMPORARY SHORING, BRACING, FORM WORK, SCAFFOLDING, ERECTION METHODS, ETC. ANY JOB SITE VISIT BY THE ENGINEER IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES. THE CONTRACTOR SHALL WARRANT THAT ALL MATERIALS AND WORKMANSHIP ARE IN COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. ANY AND ALL CHANGES MUST HAVE THE ENGINEER'S APPROVAL.



PROJECT INFORMATION

- PROJECT STATEMENT:**
 THIS PLAN IS PREPARED AT THE REQUEST OF THE SANTA CRUZ PORT DISTRICT. THIS PLAN PROVIDES INSTALLATION DETAILS FOR THE PUBLIC DISPLAY OF A 22' HISTORIC FELUCCA "PAPPY" AT THE YACHT HARBOR.
- DESIGNER INFORMATION-STRUCTURAL:**
 HOGAN LAND SERVICES
 2601 41ST AVENUE, SUITE A
 SOQUEL, CA 95073
 (831) 425-1617
- TOPOGRAPHIC INFORMATION PROVIDED BY:**
 FIELD SURVEY BY HOGAN LAND SERVICES DATED JUNE 2019
- PROJECT DATUM & BENCHMARK:**
- THE PURPOSE OF THIS MAP IS FOR DESIGN AND THE CONTENT IS RELATIVE TO THE INTENDED USE. UNAUTHORIZED CHANGES OR ADDITIONS TO THE EXISTING DATA SHOWN ON THIS MAP IS STRICTLY PROHIBITED. ANY USES OF THIS MAP BEYOND THE STATED PURPOSE REQUIRES THE AUTHORIZATION OF HOGAN LAND SERVICES.
 - THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY.
 - HORIZONTAL CONTROL:
 PROJECT ALIGNMENT IN PARKING AREA ISLAND AS SHOWN BEGINNING @ (E) SIGN. SEE SHEET 2 FOR DETAILS.
 - VERTICAL CONTROL:
 ELEVATION DATUM IS ASSUMED OVER CP 500 (500.00 FEET). SEE SHEET 2 FOR DETAILS.

UNAUTHORIZED CHANGES AND USES:
 The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

JOB SITE CONDITIONS:
 Construction contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours, and contractor further agrees to defend, indemnify, and hold design professional harmless from any and all liability, real or alleged, in connection with performance of work on this project, excepting liability arising from the sole negligence of the design professional.



REVISION/DATE	HLS
	1
	2
	3
	4
	5

HOGAN LAND SERVICES
 A CALIFORNIA CORPORATION

TEL (831) 425-1617
 FAX (831) 425-0224

www.hoganls.com

2601 41st AVENUE, SUITE A
 SOQUEL, CA 95073

SANTA CRUZ PORT DISTRICT
 TITLE SHEET

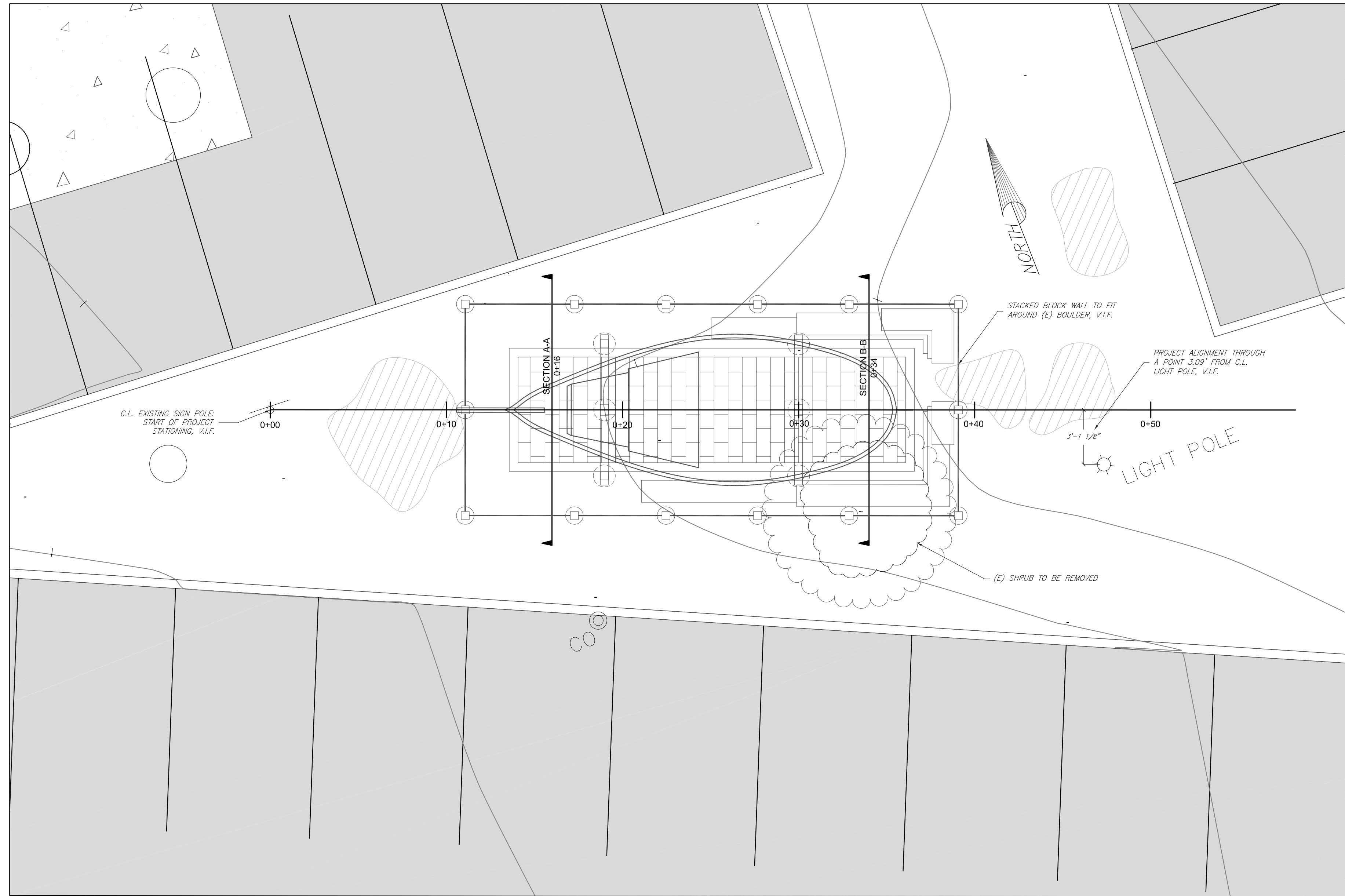
APN: 010-321-10

135 5TH AVENUE
 SANTA CRUZ, CALIFORNIA 95062

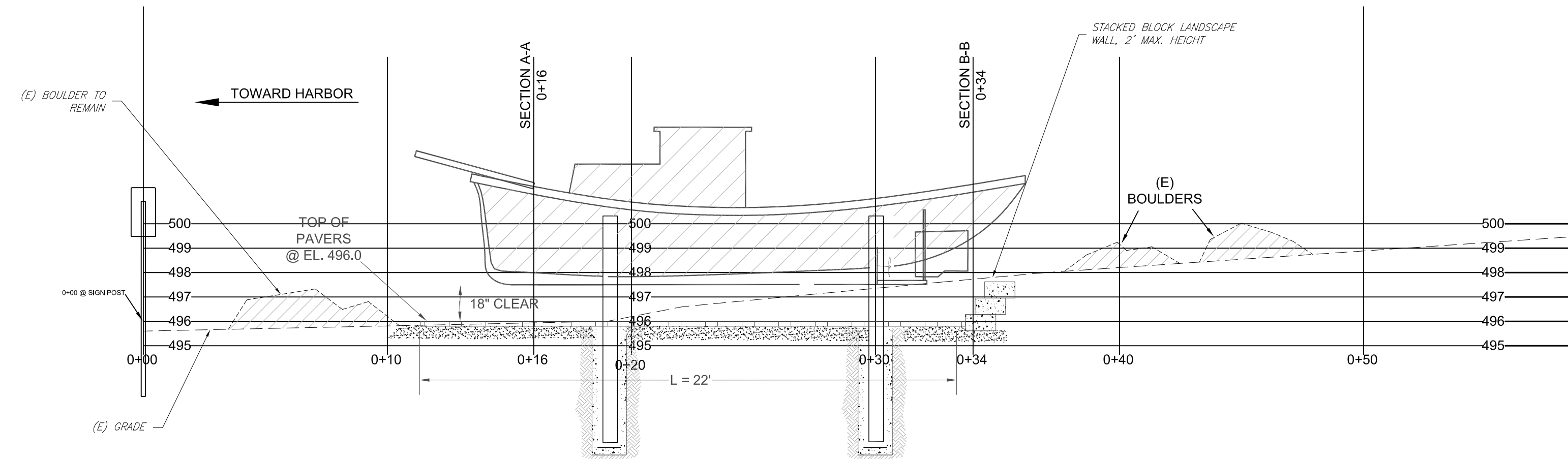


DATE:	10/2/19
SCALE:	
PM:	GF
DRAWN BY:	GF
CHK:	RD
JOB #:	4048

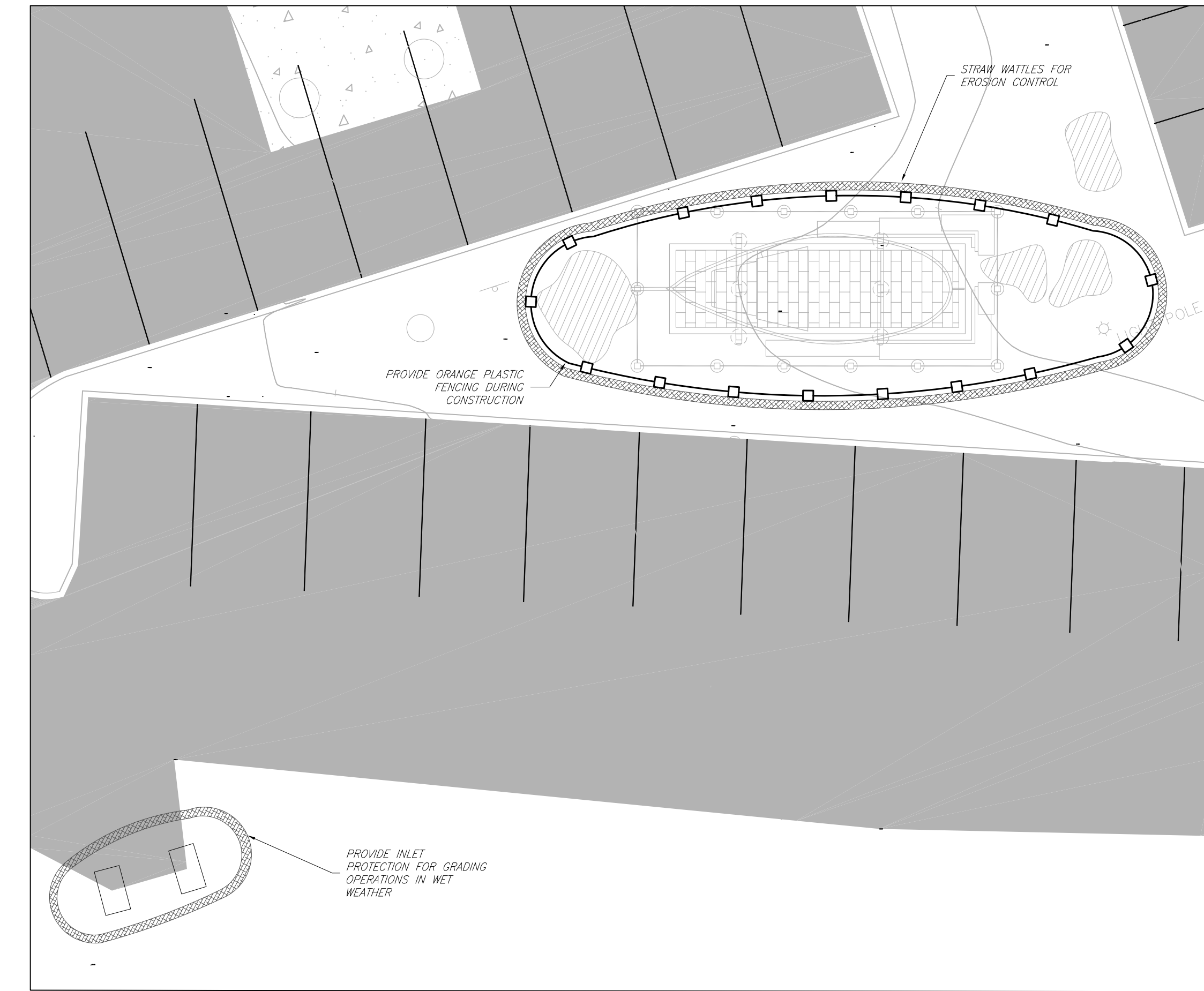
Copyright ©2018 Hogan Land Services, Inc. This drawing is in instrument of service and is the sole property of Hogan Land Services, Inc. Any use of this drawing without written consent by Hogan Land Services, Inc. is prohibited.



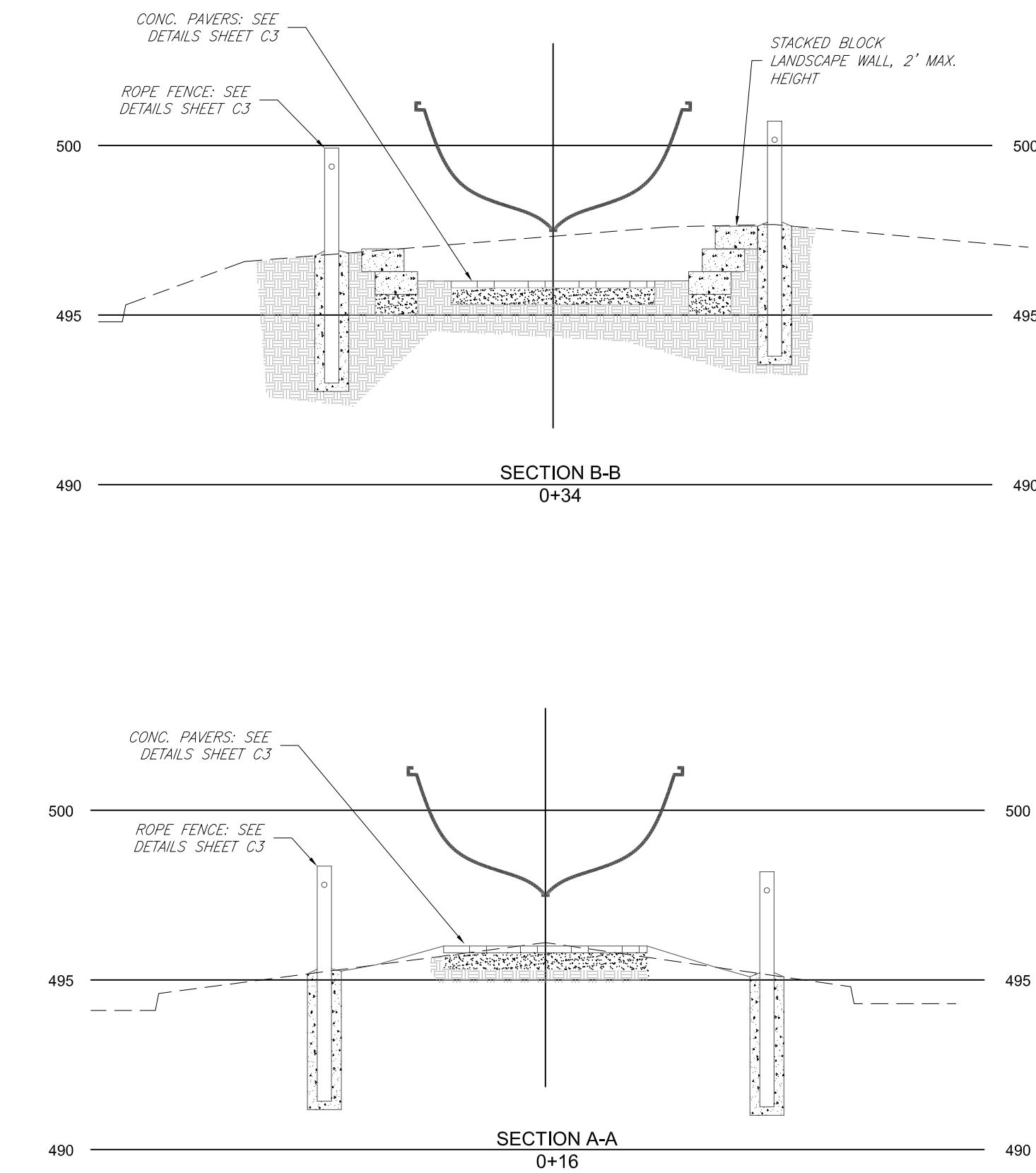
1 GRADING PLAN
SCALE: 1" = 4'-0"



2 GRADING PROFILE
SCALE: 1" = 4'-0"



4 CONSTRUCTION DETAIL
SCALE: 1" = 8'-0"



3 SECTIONS
SCALE: 1" = 4'-0"

REVISION/DATE	HLS
	1
	2
	3
	4
	5

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION

2601 41st AVENUE, SUITE A
SANTA CRUZ, CA 95073

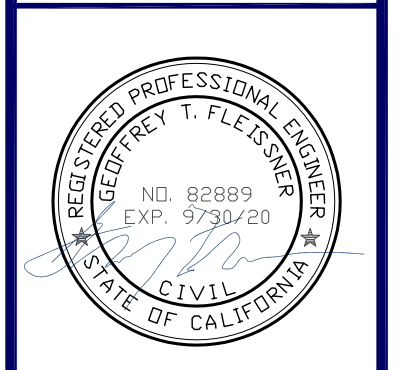
TEL (831) 425-1617
FAX (831) 425-0224

www.hoganls.com

SANTA CRUZ PORT DISTRICT
PLAN, PROFILE & SECTIONS

135 5TH AVENUE
SANTA CRUZ, CALIFORNIA 95062

APN: 010-321-10



DATE:	10/2/19
SCALE:	
PM:	GF
DRAWN BY:	GF
CHK:	RD
JOB #:	4048

GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH THE 2016 CALIFORNIA BUILDING CODE (CBC) AS APPROPRIATE FOR THE COUNTY OF SANTA CRUZ, AND ANY APPLICABLE LOCAL ORDINANCES EXCEPT WHERE OTHER NOTES, DETAILS AND/OR SPECIFICATIONS ARE MORE RESTRICTIVE.
- DRAWINGS ARE NOT TO BE SCALED. BUILDING/STRUCTURAL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE FOR GENERAL REFERENCE ONLY U.O.N. SEE THE ARCHITECTURAL DRAWINGS FOR ALL ACTUAL BUILDING DIMENSIONS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE STRUCTURAL ENGINEER/ARCHITECT OF ANY DISCREPANCIES ON THE DRAWINGS. CLARIFICATION OF ALL DISCREPANCIES IS REQUIRED PRIOR TO COMMENCING WITH THE WORK.
- STANDARD DETAILS AND NOTES ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE NOTED OR SHOWN. DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS. DETAILS NOT SHOWN, NOR DETAILED ON DRAWINGS, NOR CALLED FOR IN THESE NOTES SHALL BE CONSTRUCTED TO SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN, DETAILED OR SPECIFIED.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
- THE CONTRACTOR IS AT ALL TIMES SOLELY AND COMPLETELY RESPONSIBLE FOR DESIGN, ADEQUACY AND SAFETY OF TEMPORARY SHORING, BRACING, FORM WORK, SCAFFOLDING, ERECTION METHODS, ETC. ANY JOB SITE VISIT BY THE ENGINEER IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES. THE CONTRACTOR SHALL WARRANT THAT ALL MATERIALS AND WORKMANSHIP ARE IN COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. ANY AND ALL CHANGES MUST HAVE THE ENGINEER'S APPROVAL.

DESIGN CRITERIA

DESIGN LOADS:

VERTICAL LOADS: D.L. L.L.

BOAT: 2.0 kips 0.6 kips

LATERAL LOADS:

WIND: EXPOSURE C @ 110 MPH (DUE TO PROFILE WIND WON'T GOVERN)

SEISMIC:

SEISMIC SITE CLASS	D - DEFAULT
RISK CATEGORY	1 - LOW RISK
SDS	1.314 - SITE SPECIFIC
SEISMIC DESIGN CATEGORY	B (SDS = 1.314 & RISK CATEGORY = 1)
IMPORTANCE FACTOR	1.0 (RISK CATEGORY = 1)
RESPONSE COEFFICIENT	1.5 - WOOD TIMBERS

FOUNDATION CRITERIA:

SOILS REPORT: NONE THIS PROJECT

ACTIVE PRESSURE 60 PCF (C.B.C./C.R.C. MINIMUM)

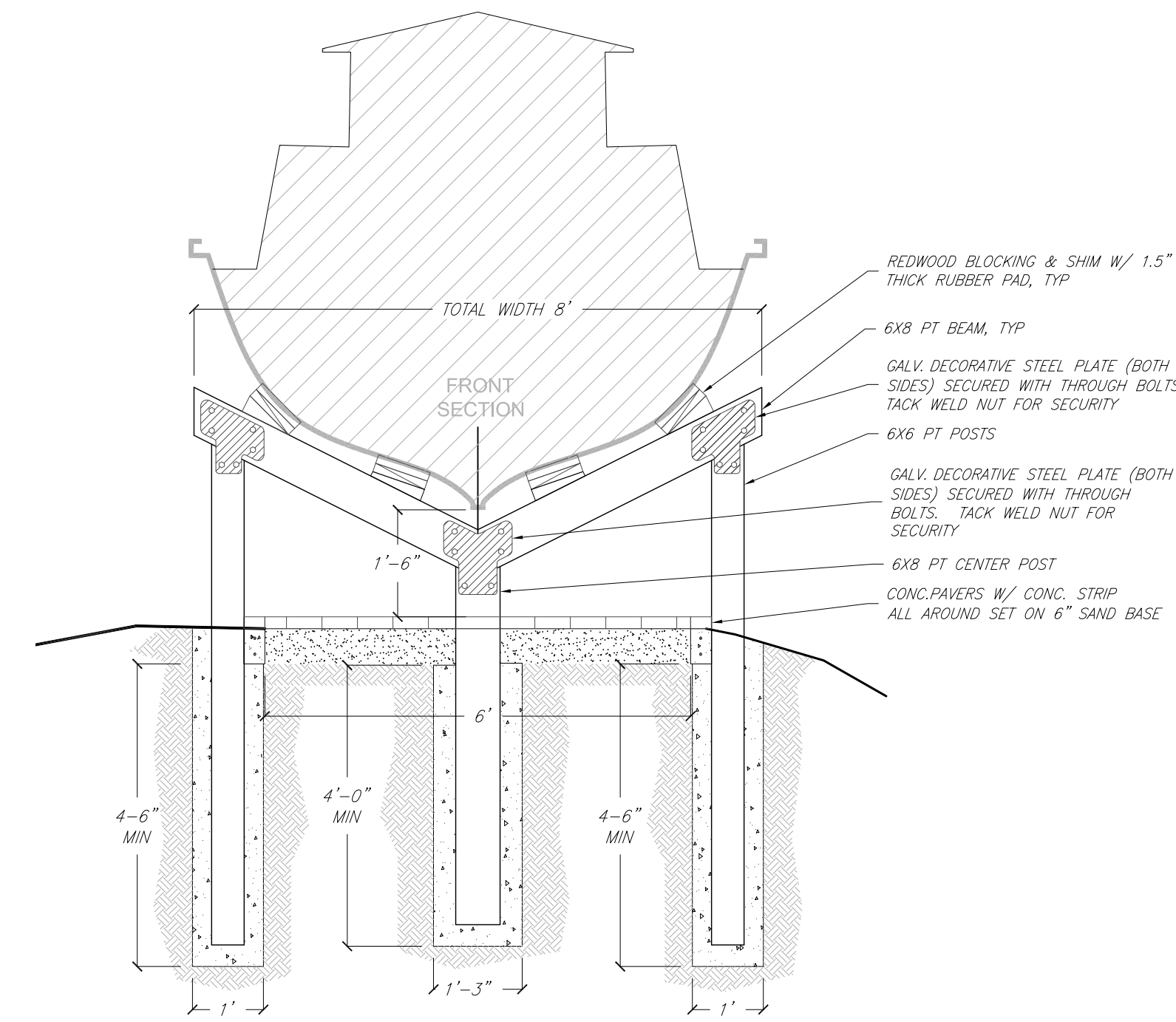
ALLOWABLE BEARING 1500 PSF (C.B.C./C.R.C. MINIMUM)

FOUNDATION DESIGN TO BE REVIEWED BY PROJECT GEOTECHNICAL ENGINEER. IF THERE IS NO GEOTECHNICAL REPORT, SUBSURFACE CONDITIONS UNKNOWN TO THE DESIGN PROFESSIONALS MAY RESULT IN CRACKING FOUNDATION, AND/OR OTHER UNDESIRABLE CONSEQUENCES.

TREATED WOOD USE CLASSIFICATIONS

USE:	CLASSIFICATION:
INTERIOR ABOVE GROUND DRY	UC1
INTERIOR ABOVE GROUND DAMP	UC2
ABOVE GROUND PROTECTED	UC3A
ABOVE GROUND EXPOSED	UC3B
GROUND CONTACT GENERAL USE	UC4A
GROUND CONTACT HEAVY DUTY	UC4B
GROUND CONTACT EXTREME DUTY	UC4C

USE UC4C FOR P.T.D.F. EMBEDDED IN EARTH/CONCRETE.
USE UC3C FOR P.T.D.F. EXPOSED FRAMING OR UC3A IF PROTECTED.



CONCRETE NOTES

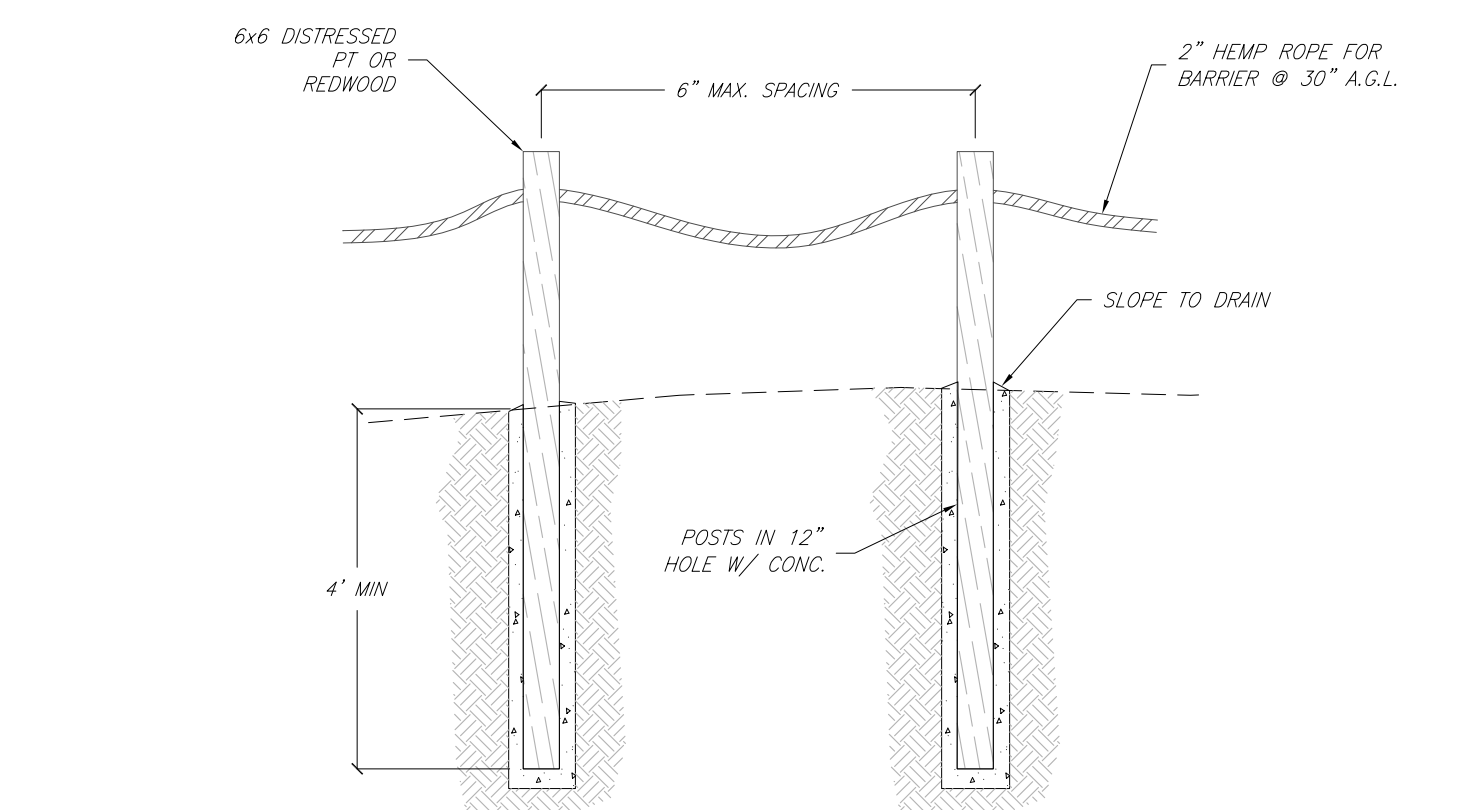
- CONCRETE SHALL BE NORMAL WEIGHT (150-PCF) HARD ROCK CONCRETE AND SHALL DEVELOP A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND BE 6-SACK MIX. DESIGN IS BASED ON COMPRESSIVE STRENGTH OF 2500 PSI U.O.N. SEE DESIGN CRITERIA. CONCRETE QUALITY, MIXING AND PLACING SHALL CONFORM WITH CBC SECTION 1903. GARAGE FLOOR SLAB AND STRUCTURAL FLOOR SLAB SHALL BE 3000 PSI @ 28 DAYS CONCRETE.
- CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY MECHANICAL VIBRATION. TWO MECHANICAL VIBRATORS ARE TO BE ON SITE DURING PLACING OF CONCRETE.
- CONCRETE SHALL BE KEPT THOROUGHLY DAMP FOR 7 DAYS MINIMUM AFTER PLACEMENT BY COVERING WITH BURLAP OR CARPET KEPT CONTINUOUSLY WET, LEAVING FORMS TIGHTLY IN PLACE. OR AT SLABS WHERE FINISHES WILL NOT BE AFFECTED BY APPLYING CURE COMPOUND, APPLY COMPOUND AT TWICE THE MANUFACTURER'S RECOMMENDED RATE OF APPLICATION WITH A MINIMUM OF 2 COATS APPLIED AT 90° TO EACH OTHER. CURE COMPOUND SHALL BE APPROVED BY THE PROJECT ARCHITECT OR OWNER'S REPRESENTATIVE. DIESEL FUEL IS NOT TO BE USED AS A SUBSTITUTE FOR A CURING COMPOUND COATING.
- ALL ANCHORS, BOLTS, INSERTS, AND ANY OTHER HARDWARE TO BE SET IN CONCRETE SHALL BE FIRMLY SET IN POSITION BEFORE CONCRETE IS PLACED.
- CONSTRUCTION JOINTS SHALL BE SANDBLASTED, OR OTHERWISE ROUGHENED, REMOVING ALL UNSOUND CONCRETE AND LAUNCE EXPOSING SOUND AGGREGATE TO 1/4" MINIMUM AMPLITUDE. DAMPEN PRIOR TO PLACING NEW CONCRETE.
- CONCRETE AGGREGATES SHALL CONFORM TO ONE OF THE FOLLOWING SPECIFICATIONS:
 - NORMAL WEIGHT CONCRETE ASTM C33
 - LIGHTWEIGHT CONCRETE ASTM C330
- NOMINAL MAXIMUM SIZE OF COURSE AGGREGATE SHALL BE NOT LARGER THAN:
 - 1/2 THE NARROWEST DIMENSION BETWEEN FORMS, NOR
 - 3/4 THE DEPTH OF SLABS, NOR
 - 3/4 THE MINIMUM CLEAR SPACING BETWEEN INDIVIDUAL REINFORCING BARS.

CONCRETE FLATWORK NOTES

- PROVIDE CONTROL JOINTS (C.J.) AND/OR DOWEL JOINTS PER DETAILS PROVIDED AND WHERE SHOWN ON FOUNDATION DRAWINGS. (TO MINIMIZE RANDOM CONCRETE SHRINKAGE CRACKS).
- ALL SLABS SHALL BE COMPLETELY SEPARATED FROM FOUNDATION STEM WALLS WITH FELT OR MASTIC AND SLABS SHALL HAVE 1/8" X 1" DEEP CONTROL JOINTS AT 12 FEET ON CENTER MAXIMUM IN EACH DIRECTION, U.O.N.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER CURING OF ALL CONCRETE. SLABS SHALL HAVE THEIR SURFACE COATED WITH AN APPROVED CURING COMPOUND IMMEDIATELY FOLLOWING FINAL TROWELING.
- CURING SLABS SHALL REMAIN UNDISTURBED A MINIMUM OF 3 FULL DAYS AFTER CURING COMPOUND HAS BEEN APPLIED, NOT ALLOWING PEDESTRIAN OR VEHICLE TRAFFIC. WHERE PEDESTRIAN TRAFFIC IS NECESSARY, SLAB SURFACES SHALL BE PROTECTED USING PLYWOOD SHEETS. CURING COMPOUND SHALL BE COMPATIBLE WITH FINISH AS SPECIFIED BY THE PROJECT ARCHITECT.

FOUNDATION NOTES

- ALL SITE WORK, DRAINAGE SYSTEMS, GRADING AND FOUNDATION EXCAVATIONS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT SOIL REPORT. FOOTING EXCAVATION SHALL BE OBSERVED & APPROVED BY PROJECT GEO-TECH PRIOR TO PLACEMENT OF REINFORCING STEEL.
- CONTRACTOR SHALL HAVE THE GEOTECHNICAL ENGINEER (IF ANY) REVIEW AND APPROVE THE SITE PLANS, FOUNDATION PLANS AND DETAILS FOR CONFORMANCE WITH THE DESIGN INTENT OF THE SOIL REPORT PRIOR TO ISSUANCE OF BUILDING AND/OR GRADING PERMIT.
- GEOTECHNICAL ENGINEER (IF ANY) SHALL REVIEW AND APPROVE ALL FOUNDATION EXCAVATIONS, INCLUDING PIER HOLES, PRIOR TO PLACEMENT OF REINFORCING STEEL AND FORMWORK.
- GEOTECHNICAL ENGINEER (IF ANY) SHALL VERIFY PLACEMENT OF ALL FILLS ON PROJECT SITE. PAD FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED NATIVE SOILS OR ENGINEERED FILLS AT OR EXCEEDING DEPTHS SHOWN ON THE PLANS.
- ALL FOOTING EXCAVATIONS SHALL BE DUG AS NEAT AND AS CLOSE TO FOOTING DIMENSIONS AS PRACTICAL. OVER EXCAVATIONS IN DRILLED AND WIDTH SHALL BE FILLED WITH CONCRETE U.O.N.
- ALL DRILLED PIER AND GRADE BEAM FOUNDATIONS SHALL HAVE SPECIAL INSPECTION PER C.B.C. SECTION 1701, UNLESS PRIOR APPROVAL TO WAIVE THIS REQUIREMENT UNDER SECTION 1701.5.1 EXCEPTION 4 IS OBTAINED FROM THE BUILDING OFFICIAL.
- THE FOLLOWING INSPECTIONS ARE REQUIRED FOR PIER AND GRADE BEAM CONSTRUCTION PER THE 2013 C.R.C., SECTION R109:
 - PIER HOLES - DEPTH, DIAMETER AND CLEANLINESS.
 - REINFORCING STEEL - PLACEMENT OF ALL REINFORCING STEEL IN CONCRETE PIER HOLES AND GRADE BEAM EXCAVATIONS.
 - CONCRETE - DURING THE PLACING OF CONCRETE, TAKING OF TEST SPECIMENS.
- GRADE BEAM WIDTHS SHALL BE STRICTLY MAINTAINED FROM TOP OF FORM TO PAD GRADE. ALL SLOUGH SHALL BE REMOVED BEFORE CONCRETE SETS.
- TOP OF GRADE BEAMS SHALL BE LEVEL AND STEPPED WHERE SLOPE EXCEEDS 1 : 10, SEE DETAIL PROVIDED, U.O.N. OR APPROVED.
- ANCHOR BOLT SIZE AND SPACING SHALL BE PER PLAN. ANCHOR BOLTS SHALL HAVE 7-INCH MINIMUM EMBEDMENT INTO CONCRETE. BOLTS SHALL BE LOCATED 6-INCH MINIMUM AND 12-INCH MAXIMUM FROM END OF SILL PLATE. ALL SILL PLATES TO HAVE A MINIMUM OF 2 ANCHOR BOLTS. ANCHOR BOLTS AND INSERTS SHALL BE RIGIDLY HELD IN PLACE PRIOR TO PLACING CONCRETE.
- WHERE HOLDDOWN OR TIE DOWN ANCHORS ARE SPECIFIED ON THE FOUNDATION PLAN, THE BOLTED OR SCREWED TIE DOWN SHALL BE LOCATED JUST ABOVE THE FIRST FLOOR FRAMING. IF CRIPPLE WALLS OCCUR BELOW THE FIRST FLOOR FRAMING, THEN EXTEND THE THREADED ROD USING APPROPRIATE COUPLERS AS NEEDED, FROM THE FOUNDATION ANCHOR UP THROUGH THE CRIPPLE WALL FRAMING TO THE BOLTED OR SCREWED TIE DOWN. SEE APPROPRIATE DETAILS PROVIDED HEREIN.
- NOTCHES OR HOLES ARE ALLOWED PER DETAILS PROVIDED AND/OR REQUESTED. ALL PENETRATIONS ARE TO BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE OF DRILLING THROUGH SET CONCRETE.
- CEMENT USE IN FOUNDATION MIX DESIGN IS REDUCED BY NOT LESS THAN 20 PERCENT (20%) BY INCORPORATING ADMIXTURE PRODUCTS COMMONLY USED TO REPLACE CEMENT SUCH AS; FLY ASH, SLAG, SILICA FUME, OR RICE HULL ASH.



REINFORCING STEEL NOTES

- ALL REINFORCING STEEL SHALL CONFORM WITH ASTM A 706, GRADE 60.
- REINFORCING STEEL SHALL BE KEPT CLEAN AND FREE OF MUD, OIL OR OTHER NON-METALLIC COATINGS. ALL REINFORCING BARS SHALL BE AS LONG AS IS PRACTICAL AND ALL BENDS SHALL BE COLD BENT. SECURELY TIE ALL REINFORCING BARS AT EACH END OR AS NEAR THERETO AS POSSIBLE AND AT A MAXIMUM OF 48" ON CENTER PRIOR TO PLACEMENT OF GROUT.
- AT CORNERS AND INTERSECTIONS, BARS SHALL RETURN A MINIMUM OF 24-INCHES. ALL REINFORCING BAR SPLICES SHALL BE LAPPED PER DETAIL PROVIDED HEREIN.
- WELDED WIRE MESH SHALL CONFORM WITH ASTM A-185 AND SHALL BE LAPPED 12-INCHES MINIMUM AND BE PLACED AT THE CENTER DEPTH OF SLAB.

STRUCTURAL CONSTRUCTION REVIEW BY HOGAN LAND SERVICES, INC.

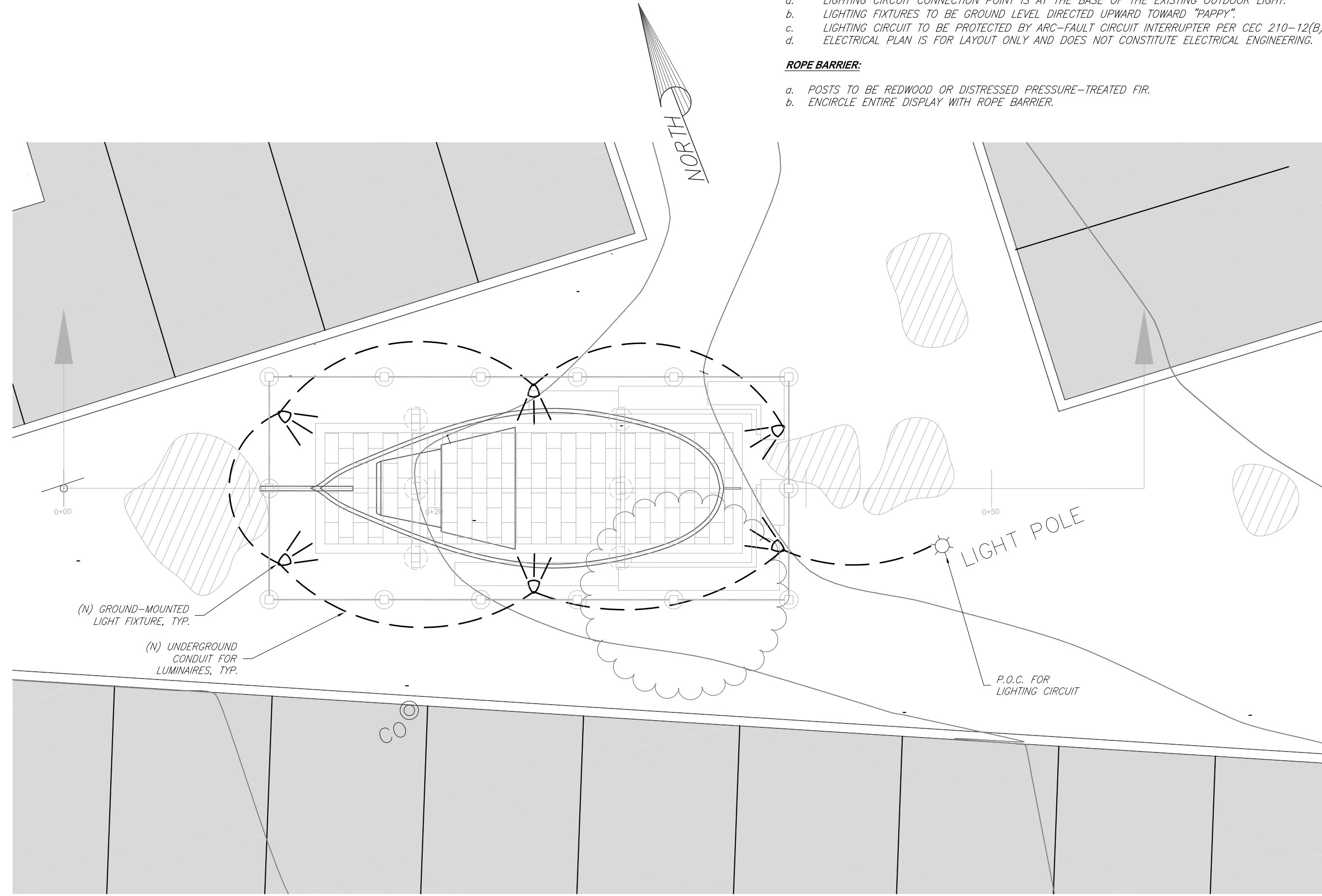
HOGAN LAND SERVICES, INC. HIGHLY RECOMMENDS THAT CONSTRUCTION OBSERVATION BE PERFORMED IN ORDER TO CHECK FOR GENERAL PLAN CONFORMANCE AND MITIGATE THE RISK OF PROBLEMS DURING THE COURSE OF CONSTRUCTION. IN THE EVENT THAT OUR FIRM IS NOT RETAINED TO PROVIDE STRUCTURAL CONSTRUCTION OBSERVATION SERVICES, IT IS UNDERSTOOD AND AGREED THAT THE WORK PERFORMED BY HOGAN LAND SERVICES, INC. IS LIMITED TO THE PREPARATION OF BASIC DESIGN CONCEPTS AND THAT HOGAN LAND SERVICES, INC. HAS NO CONTROL WHATSOEVER WITH REGARD TO PROPER AND COMPLETE CONSTRUCTION OF THE PROJECT IN CONFORMANCE WITH THE APPROVED DRAWINGS. THE OWNER AND CONTRACTOR, THEIR HEIRS AND ASSIGNS, SHALL INDEMNIFY, HOLD HARMLESS AND DEFEND HOGAN LAND SERVICES, INC. FROM ANY AND ALL CLAIMS OF ANY PERSON OR ENTITY ARISING OUT OF THE WORK PERFORMED WITHOUT CONSTRUCTION OBSERVATION UNLESS ANY SUCH CLAIM WAS CAUSED BY THE SOLE NEGLIGENCE OF HOGAN LAND SERVICES, INC. PLEASE CONTACT OUR OFFICE IN WRITING IF CONSTRUCTION OBSERVATION IS DESIRED.

CONSTRUCTION OBSERVATIONS



- LUMINAIRE NOTES**
- FIXTURE SHOWN IS KICHLER 15488 IN-GROUND WELL LIGHT FOR PAR 38 LAMP
 - INSTALLER MAY SUBSTITUTE EQUIVALENT ITEM, LED FIXTURE PREFERRED.

4 PROPOSED LUMINAIRE



ABBREVIATIONS

ABV.	ABOVE	HDR	HEADER
ADJ.	ADJUSTABLE	HT	HEIGHT
AGG.	AGGREGATE	HD	HOLDDOWN
A.B.	ANCHOR BOLT	HOR.	HORIZONTAL
APPROX.	APPROXIMATE	INT.	INTERIOR
B/KG	BLOCKING	LVL	LAMINATED VENEER LUMBER
B/LDG	BUILDING	M.B.	MACHINE BOLT
BM	BEAM	MFR.	MANUFACTURER
B/TT	BOTTOM	MAX.	MAXIMUM
B/RG	BEARING	MTL.	METAL
C.I.D.H.	CAST IN DRILLED HOLE	MIN.	MINIMUM
CLG.	CEILING	M.I.W.	MALLEABLE IRON WASHER
CLR	CLEAR	(N)	NEW
COL	COLUMN	N.T.S.	NOT TO SCALE
CONT'	CONTINUOUS	O.C.	ON CENTER
C.J.	CONTROL JOINT	O.H.	OVERHANG
CONC.	CONCRETE	OPNG	OPENING
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
CTSK	COUNTERSINK	P.E.N.	PLYWOOD EDGE NAIL
DA, #	DIAMETER	PL	PLYWOOD
DBL	DOUBLE	P.D.	POWDER DRIVEN
D.F.	DOUGLAS FIR	P.T.	PRESSURE TREATED
D.J.	DOWEL JOINT	RWD	REDWOOD
DP	DEEP	REQ'D	REQUIRED
DWG	DRAWING	REINF.	REINFORCING
EA.	EACH	SCHED.	SCHEDULE
E.E.	EACH END	S.A.D.	SEE ARCHITECTURAL DRAWINGS.
E.F.	EACH FACE	S.C.D.	SEE CIVIL DRAWINGS
E.N.	END NAIL	SS	SHEET
E.S.	EACH SIDE	SIM	SIMILAR
ELEV.	ELEVATION	SPEC.	SPECIFICATION
ENGR.	ENGINEER	SQ.	SQUARE
EQUL	EQUAL	SS	STAINLESS STEEL
(E)	EXISTING	STD	STANDARD
EXP. JT.	EXPANSION JOINT	S.W.	SHEARWALL
EXT.	EXTERIOR	T&G	TONGUE AND GROOVE
F.D.	FLOOR DRAIN	T&B	TOP AND BOTTOM
F.O.C.	FACE OF CONCRETE	T.O.	TOP OF
F.O.M.	FACE OF MASONRY	T.N.	TONGUE
F.O.S.	FACE OF STUD	TUBE	TUBE STEEL
FLR	FLOOR	TYP.	TYPICAL
FTG	FOOTING	UBC	UNIFORM BUILDING CODE
FDW	FOUNDATION	U.O.N.	UNLESS OTHERWISE NOTED
FT	FEET, FOOT	V.I.F.	VERIFY IN FIELD
G.I.	GALVANIZED IRON	VERT	VERTICAL
GA	GRADE	WP	WATERPROOF
G.B.	GRADE BEAM	WF	WIDE FLANGE
GDR	GIRDER	W/	WITH
GLB	GLUE LAMINATED BEAM	W/O	WITHOUT
GRD	GRADE		
GYP. BD.	GYP. WALL BOARD		

CONSTRUCTION NOTES:

- GRADING NOTES:**
- CLEAR SITE OF ALL VEGETATION, REMOVE (E) TREE
 - GRADE AND COMPACT PAD PRIOR TO PLACING THE PAVERS.
 - SET PAVERS ON 6" COMPACTED SAND BASE.
 - CONSTRUCT LANDSCAPE WALL WITH "KEystone" BLOCK UNITS OR EQUIVALENT.
- LIGHTING NOTES:**
- LIGHTING CIRCUIT CONNECTION POINT IS AT THE BASE OF THE EXISTING OUTDOOR LIGHT.
 - LIGHTING FIXTURES TO BE GROUND LEVEL DIRECTED UPWARD TOWARD "PAPPY".
 - LIGHTING CIRCUIT TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER PER SEC 210-12(B).
 - ELECTRICAL PLAN IS FOR LAYOUT ONLY AND DOES NOT CONSTITUTE ELECTRICAL ENGINEERING.
- ROPE BARRIER:**
- POSTS TO BE REDWOOD OR DISTRESSED PRESSURE-TREATED FIR.
 - ENCIRCLE ENTIRE DISPLAY WITH ROPE BARRIER.

REVISION/DATE	HLS
	1
	2
	3
	4
	5

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION

TEL (831) 425-1617
FAX (831) 425-0224

www.hoganls.com

2601 41st AVENUE, SUITE A
SANTA CRUZ, CA 95073

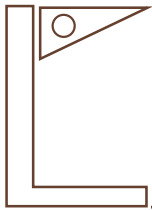
**SANTA CRUZ PORT DISTRICT
CONSTRUCTION NOTES & DETAILS**

135 5TH AVENUE
SANTA CRUZ, CALIFORNIA 95062

APN: 010-0321-10



DATE:	10/2/19
SCALE:	
PM:	GF
DRAWN BY:	GF
CHK:	RD
JOB #:	4048



Thursday, October 17, 2019

Robert L. DeWitt, PE
Hogan Land Services
2601 41st Avenue, Suite A
Soquel, California 95073
via email to: rldewitt@hoganls.com

**Pappy Display Conceptual Cost Estimating
RE: Conceptual Cost Estimate**

Dear Mr. DeWitt:

We have prepared a conceptual cost estimate to build the vessel cradle and associated site work to display Pappy. This estimate is based on plans from the Santa Cruz Port District by Hogan Land Services dated 10/2/19, 3 pages.

We believe this estimate should be within 10% of actual construction costs in the current market.

Our estimate is **\$51,243.00**. See assumptions and exclusions below.

Assumptions:

1. Labor is based on government-project prevailing wages.
2. Mark-up is calculated as follows: 7% for Supervision, 5% for General Conditions (toilet, hauling, clean-up, etc.), 5% for Contingency, 10% for Overhead, and 10% for Profit. Together, that totals a 37% mark-up.
3. 12 Volt LED lighting switched by existing light pole with transformer and tamper resistant underground box.
4. Pressure treated lumber, lightly sandblasted (Distressed) with ends and all drill outs or other cuts treated on site.
5. Parking lot is available for construction vehicles.
6. Site fencing - 6 foot tall chainlink, approximately 150 lineal feet perimeter for worker area is different than shown on plans.

Exclusions:

1. Permits and time to obtain and manage permits.
2. Storing, lifting, moving, and setting Pappy on the cradle.

Thank you for the opportunity to assist with this project. If you have any questions, please let us know.

Very truly yours,



Tony Demma
Inspector/consultant

Conceptual Cost Estimate.wpd



Santa Cruz Port District
Accounts Payable Monthly Check Register
September 2019

Date	No.	Vendor	Description	Amount
9/4/2019	52323	Klee, Gary	Claim Settlement - <i>Dauntless</i> Vessel Damage	\$ 4,809.00
9/4/2019	52324	Lighthouse Welding	<i>Twin Lakes</i> Snorkel Fabrication (Final Payment)	\$ 7,500.00
9/5/2019	52325	Scheidt & Bachmann	PARCS Project Installment Payment	\$ 77,378.36
9/13/2019	52326	Allied Administrators for Delta Dental	Dental Insurance	\$ 2,926.70
9/13/2019	52327	AT&T	Telephone	\$ 1,735.51
9/13/2019	52328	AT&T Mobility	Tablet Service	\$ 235.50
9/13/2019	52329	CIT	Telephone System lease	\$ 300.46
9/13/2019	52330	Bay Power Equipment, Inc.	Snorkel Hydraulic Cylinders	\$ 7,932.86
9/13/2019	52331	Bobby's Pit Stop, Inc.	Patrol Vehicle Maintenance	\$ 107.30
9/13/2019	52332	Burke, Williams & Sorensen, LLP	Legal Consultation	\$ 7,700.00
9/13/2019	52333	Byte Technology	Website Maintenance & Updates	\$ 39.00
9/13/2019	52334	Cale America, Inc.	Parking Machine Monthly Service	\$ 832.00
9/13/2019	52335	Carpi & Clay	Washington Representation	\$ 800.00
9/13/2019	52336	COFFEY, RICHARD	Security Deposit Refund	\$ 307.50
9/13/2019	52337	Comcast	Business Cable & Internet	\$ 232.12
9/13/2019	52338	Complete Mailing Service	Statement Mailing & Postage	\$ 540.05
9/13/2019	52339	Computer Technical Specialists, Inc.	E-mail Scanning/Hosting/Backup	\$ 581.75
9/13/2019	52340	Crystal Springs Water Co.	Boatyard Drinking Water	\$ 27.75
9/13/2019	52341	Darco Printing & Paper	RV Space Agreements	\$ 238.71
9/13/2019	52342	Employee #24	Training Expense Reimbursement - CAHMPC Conference, Vacation Payout	\$ 2,292.45
9/13/2019	52343	Dowgert, Kitty	Security Deposit Refund	\$ 108.74
9/13/2019	52344	Edwards, Bruce	Security Deposit Credit Refund	\$ 1,657.52
9/13/2019	52345	Fastrak Violation Processing Department	Bridge Toll - Harbor Patrol Training	\$ 52.00
9/13/2019	52346	FedEx Office	Shipping	\$ 35.39
9/13/2019	52347	Flint, Kenneth	Claim Settlement - Property Damage	\$ 50.00
9/13/2019	52348	Garda CL West, Inc.	Deposit Courier Service	\$ 275.05
9/13/2019	52349	Gsolutionz	Telephone System Maintenance	\$ 199.99
9/13/2019	52350	Haro Kasunich & Associates, Inc.	Geotech Monitoring & Inspect	\$ 7,652.20
9/13/2019	52351	Johnson, Fred	Key Deposit Refund	\$ 40.00
9/13/2019	52352	Latisha Marshall	Travel Expense Reimbursement - CAHMPC Conference	\$ 303.69
9/13/2019	52353	MAILFINANCE	Postage Meter Lease	\$ 178.92
9/13/2019	52354	Marina Ware	Electronic Fob Reader for Front Desk	\$ 770.00
9/13/2019	52355	Marine Travelift, Inc.	Travelift Repairs & Maintenance	\$ 37.02
9/13/2019	52356	Mesiti-Miller Engineering, Inc.	Aldo's Accessway Improvement Plans	\$ 2,392.80
9/13/2019	52357	Mid-South Tank Consultants	Sheet Pile Coating Inspection	\$ 11,000.00
9/13/2019	52358	Mid County Auto Supply	Boatyard Retail Item, <i>Almar</i> Washer Fluid	\$ 15.11
9/13/2019	52359	Mitchell, Kevin	Security Deposit Refund	\$ 226.50

Santa Cruz Port District
Accounts Payable Monthly Check Register
September 2019

Date	No.	Vendor	Description	Amount
9/13/2019	52360	Operating Engineers Local Union No. 3	OE3 Dues (Payroll Deduction)	\$ 192.00
9/13/2019	52361	Pacific Gas & Electric Company	Utilities	\$ 1,526.95
9/13/2019	52362	Palace Art & Office Supply	Office Supplies	\$ 53.39
9/13/2019	52363	Peace Officers Research Association of CA	Association Dues (Payroll Deduction)	\$ 246.00
9/13/2019	52364	PORAC Legal Defense Fund	Association Dues (Payroll Deduction)	\$ 360.00
9/13/2019	52365	Price, Steven	Security Deposit Refund	\$ 363.00
9/13/2019	52366	Rector, Keith	Security Deposit Refund	\$ 69.62
9/13/2019	52367	SC Fuels	Fuel Dock Gas & Diesel	\$ 22,486.82
9/13/2019	52368	Santa Cruz Municipal Utilities	Utilities	\$ 3,258.77
9/13/2019	52369	SDRMA	Worker's Comp 2018-19 Reconciliation	\$ 1,559.36
9/13/2019	52370	Summit Uniforms	Reserve DHM Uniform	\$ 398.76
9/13/2019	52371	Svensden's Boat Works	Boatyard Retail Items	\$ 134.90
9/13/2019	52372	Syn-Tech Systems, Inc	Fuelmaster Tech Support	\$ 101.25
9/13/2019	52373	UNUM Life Insurance Co. of America	Life/LTD/AD&D Insurance (August & September)	\$ 2,251.60
9/13/2019	52374	U.S. Bank Equipment Finance	Copier Lease	\$ 151.32
9/13/2019	52375	US Relay	Webcam Service	\$ 484.00
9/13/2019	52376	Verizon Wireless	Cell Phone & Tablet Service	\$ 313.52
9/13/2019	52377	Viguers, Schooner	Security Deposit Refund	\$ 297.44
9/13/2019	52378	Wendy L. Cumming	CPA Services	\$ 108.75
9/20/2019	52379	Andrew Zimmern Productions	Event Deposit Refund	\$ 500.00
9/20/2019	52380	Jorge Lopez	Expense Reimbursement: Harbor Office Refrigerator	\$ 467.59
9/20/2019	52381	Nicholas Henning	Refuse Collection	\$ 2,250.00
9/27/2019	52382	Aqua Safaris	Diving Equipment	\$ 1,647.07
9/27/2019	52383	AT&T	Telephone	\$ 781.38
9/27/2019	52384	Atchison Barisone Condotti & Kovacevich	Legal Consultation	\$ 1,160.50
9/27/2019	52385	Bay Plumbing Supply, Inc.	Toilet Handle, Fish Table Repair Parts, J-Dock Restroom Sink, Johnny's Cooler Coil Unit (Tenant Reimbursable)	\$ 979.67
9/27/2019	52386	Bay Power Equipment, Inc.	Squirt Hydraulic Valves	\$ 571.18
9/27/2019	52387	Bayside Oil II, Inc.	Hazmat Waste & Waste Oil Disposal	\$ 684.00
9/27/2019	52388	Big Creek	Dauntless Cribbing Lumber, Office Trim, Screws, Hammer, Impact Bit Set	\$ 490.48
9/27/2019	52389	Bow Wow Pet Waste Products	Pet Waste Station Bags	\$ 273.29
9/27/2019	52390	Brass Key Locksmith, Inc.	333 Lake Avenue Lockset	\$ 81.88
9/27/2019	52391	Bullseye Canvas	Twin Lakes Generator Cover	\$ 242.93
9/27/2019	52392	Burke, Brandon	Security Deposit Refund	\$ 577.60
9/27/2019	52393	California Marine Affairs and Navigation Conference	Annual Dues	\$ 2,100.00
9/27/2019	52394	Comcast	Business Internet	\$ 153.38
9/27/2019	52395	Digital Printing Systems	Concession Lot Parking Tickets	\$ 1,270.04

Santa Cruz Port District
Accounts Payable Monthly Check Register
September 2019

Date	No.	Vendor	Description	Amount
9/27/2019	52396	Doctors on Duty	Pre-Employment Physical - Reserve Deputy Harbormaster	\$ 42.00
9/27/2019	52397	Dredging Supply Company, Inc.	<i>Twin Lakes</i> Spud Lever, <i>Squirt</i> Cutter Head	\$ 13,069.89
9/27/2019	52398	Fastenal Company	Sanding Discs, Drill Bit Set, Sheet Metal Screws, <i>Twin Lakes</i> Pipe Thread Tap	\$ 399.76
9/27/2019	52399	FedEx Office	Shipping	\$ 148.01
9/27/2019	52400	First Alarm Security & Patrol, Inc.	Security Patrol	\$ 4,725.84
9/27/2019	52401	Geo. H. Wilson, Inc.	Quarterly Boiler Maintenance - 2222 East Cliff Drive	\$ 335.00
9/27/2019	52402	Grainger	Welding Lenses, Respirator Masks, Drain Opener, Office Dish Soap	\$ 118.10
9/27/2019	52403	HD Supply Facilities Maintenance, Ltd.	Touchless Hand Dryer	\$ 391.42
9/27/2019	52404	Hoge-Habekoss, Kyra	Event Deposit Refund	\$ 500.00
9/27/2019	52405	Hose Shop	I-Dock Fire Hose, <i>Squirt</i> & <i>Twin Lakes</i> Hydraulic Hose Wrap, Johnny's Cooler Unit Tubing (Tenant Reimbursable)	\$ 537.97
9/27/2019	52406	Hutchinson & Bloodgood LLP	Audit Services	\$ 21,652.00
9/27/2019	52407	Jim Clark	Backflow Testing	\$ 244.00
9/27/2019	52408	Jorgensen, Siegel, McClure & Flegel, LLP	Legal Consultation	\$ 750.50
9/27/2019	52409	Kelbert, Tim	Key Deposit Refund	\$ 20.00
9/27/2019	52410	Kelly-Moore Paint Company, Inc.	Fuel Dock Extension Plate Paint, Harbor Office Paint, Parking Lot Striping Paint	\$ 243.61
9/27/2019	52411	King's Paint & Paper, Inc.	Car Show Trophy Clearcoat	\$ 55.47
9/27/2019	52412	Land 'N' Sea	<i>Squirt</i> Hose & Ball Valve	\$ 318.79
9/27/2019	52413	Latisha Marshall	Mileage Expense Reimbursement	\$ 36.22
9/27/2019	52414	Lawson	<i>Twin Lakes</i> Cable Ties, Hydraulic Hose, Fasteners	\$ 629.90
9/27/2019	52415	Lighthouse Welding	<i>Twin Lakes</i> Christmas Tree Repairs, <i>Dauntless</i> Deck Patch Work	\$ 2,245.00
9/27/2019	52416	Lloyd's Tire Service	Maintenance Truck Tire Replacement	\$ 757.96
9/27/2019	52417	Marina Ware	Quarterly MarinaWare Support	\$ 875.00
9/27/2019	52418	Matheson Tri-Gas, Inc.	Welding Gas	\$ 473.99
9/27/2019	52419	McMaster-Carr Supply Company	<i>Dauntless</i> Shaft Hardware & Dowel Pin, Welding Clamp & Lubricant, Steel Rod, Rust Converting Primer for Boatyard	\$ 785.65
9/27/2019	52420	Mid County Auto Supply	Gas Container, Aluminum Cleaner, Motor Oil	\$ 317.47
9/27/2019	52421	Mission Uniform Service	Uniform Service	\$ 494.66
9/27/2019	52422	Moffat & Nichol	Engineering Services: Boatyard Marine Ways Emergency Pile Repair	\$ 6,359.50
9/27/2019	52423	MPress Digital Inc.	Business Cards	\$ 369.71
9/27/2019	52424	North Bay Ford	Patrol Truck Maintenance	\$ 175.00
9/27/2019	52425	Olive Springs Quarry, Inc.	Asphalt	\$ 466.30
9/27/2019	52426	Pacific Gas & Electric Company	Utilities	\$ 13,273.37
9/27/2019	52427	PDM Steel Service Centers, Inc.	Buoy & Dredge Can Steel	\$ 1,084.34

Santa Cruz Port District
Accounts Payable Monthly Check Register
September 2019

Date	No.	Vendor	Description	Amount
9/27/2019	52428	West Marine Pro	Travelift Fender Build, <i>Almar</i> Flares, <i>Almar</i> Tube Repair, <i>Dauntless</i> Anodes, <i>Twin Lakes</i> Wire Rope, Thimble, Cinch Straps, Dredge Skiff Battery Cables & Switch	\$ 492.39
9/27/2019	52429	West Marine Pro	Boatyard Retail Items	\$ 24.84
9/27/2019	52430	Praxair Distribution Inc.	Welding Gas & Supplies	\$ 423.35
9/27/2019	52431	Rahilly, Evan	Key Deposit Refund	\$ 40.00
9/27/2019	52432	Red Hills Environmental, LLC	2019-20 SAP & Dredge Plan	\$ 54,336.00
9/27/2019	52433	RGW Equipment	Backhoe Repairs	\$ 2,329.92
9/27/2019	52434	Riverside Lighting & Electric	Light Covers, Boatyard Security Light Fixtures, Electrical Breaker Replacement, Photo Cells, Aerator Electrical Cable, Crimper Tools, Tape, Shrink, Splicer, 345 Lake Ave Light Fixture, <i>Twin Lakes</i> Shore Power	\$ 1,084.72
9/27/2019	52435	ROI Safety Services	Hazardous Waste Training	\$ 1,854.00
9/27/2019	52436	Sable, Paul	Security Deposit / Credit Refund	\$ 5,036.23
9/27/2019	52437	San Lorenzo	Boatyard Cribbing Supplies, Decking for <i>Dauntless</i>	\$ 878.78
9/27/2019	52438	Santa Cruz Carpet Cleaning	Public Meeting Room & Harbor Off Carpet Cleaning	\$ 470.00
9/27/2019	52439	Santa Cruz Dodge	Shuttle Van Maintenance	\$ 74.31
9/27/2019	52440	SC Fuels	Fuel Dock Gas & Diesel	\$ 23,152.67
9/27/2019	52441	Santa Cruz Municipal Utilities	Utilities	\$ 18,946.79
9/27/2019	52442	Staples Credit Plan	Office Supplies	\$ 114.43
9/27/2019	52443	The Home Depot Pro	Janitorial Supplies	\$ 698.42
9/27/2019	52444	Svendson's Boat Works	Boatyard Retail Items	\$ 418.21
9/27/2019	52445	Team O'Neill LTD.	Charter Application Deposit Refund	\$ 31.15
9/27/2019	52446	The Embroidery Works	Harbor Patrol Hats	\$ 294.30
9/27/2019	52447	Triton Construction	Designated Fuel Operator Service	\$ 75.00
9/27/2019	52448	Mark Larsen DBA: Viking	Window Cleaning	\$ 28.00
9/27/2019	52449	West Coast Wire Rope	Lifting Blocks for Snorkel, <i>Twin Lakes</i> Wire Rope, <i>Twin Lakes</i> Rigging	\$ 1,997.58
9/5/2019	5860-5898	Various Employees	8/16/19-8/31/19 Payroll	\$ 17,557.90
9/20/2019	5910-5945	Various Employees	9/1/19-9/15/19 Payroll	\$ 18,137.16
9/1/2019	EFT	Merchant Services	Boatyard Credit Card Fees	\$ 466.30
9/1/2019	EFT	Merchant Services	Online Billpay CC Fees	\$ 151.19
9/1/2019	EFT	Merchant Services	CALE Credit Card Fees	\$ 2,124.73
9/1/2019	EFT	ChargeItPro	Front Desk Credit Card Fees	\$ 1,741.29
9/1/2019	EFT	ElectronicPayments	Fuel Dock Credit Card Fees	\$ 787.96
9/1/2019	EFT	Transaction Express	Online Billpay ACH Fees	\$ 393.00
9/4/2019	EFT	PAYCHEX	Time & Attendance Fees	\$ 109.25
9/5/2019	EFT	PAYCHEX	Payroll Service Fees	\$ 469.44
9/5/2019	EFT	PAYCHEX	8/16/19-8/31/19 Payroll Direct Deposit	\$ 54,584.05
9/5/2019	EFT	PAYCHEX	8/16/19-8/31/19 Payroll Taxes	\$ 31,224.46

Santa Cruz Port District
Accounts Payable Monthly Check Register
September 2019

Date	No.	Vendor	Description	Amount
9/6/2019	EFT	CalPERS	Health Insurance	\$ 36,120.00
9/6/2019	EFT	CalPERS	Retirement Contributions (Employee & Employer)	\$ 7,993.13
9/6/2019	EFT	CalPERS	Retirement Contributions (Employee & Employer)	\$ 7,079.54
9/6/2019	EFT	CalPERS	GASB68 Reporting Fee	\$ 1,050.00
9/6/2019	EFT	CalPERS	Retirement Contributions (Employee & Employer)	\$ 488.08
9/9/2019	EFT	Empower Retirement	457 Plan Contributions (Payroll Deduction)	\$ 2,454.86
9/9/2019	EFT	Comerica Commercial Card Services	Comerica Statement	\$ 11,862.97
9/9/2019	EFT	California State Disbursement Unit	Wage Garnishment	\$ 250.00
9/10/2019	EFT	ChargeItPro	Front Desk Credit Card Gateway Fee	\$ 17.12
9/11/2019	EFT	Comerica Bank	Bank Service Fees	\$ 1,655.04
9/19/2019	EFT	CalPERS	Unfunded Accrued Liability	\$ 305.64
9/19/2019	EFT	CalPERS	Unfunded Accrued Liability	\$ 22,449.97
9/19/2019	EFT	CalPERS	Retirement Contributions (Employee & Employer)	\$ 7,746.13
9/19/2019	EFT	CalPERS	Retirement Contributions (Employee & Employer)	\$ 7,262.49
9/19/2019	EFT	CalPERS	Unfunded Accrued Liability	\$ 965.16
9/19/2019	EFT	CalPERS	Retirement Contributions (Employee & Employer)	\$ 480.02
9/20/2019	EFT	PAYCHEX	Payroll Service Fees	\$ 459.10
9/20/2019	EFT	PAYCHEX	9/1/19-9/15/19 Payroll Direct Deposit	\$ 53,405.26
9/20/2019	EFT	PAYCHEX	9/1/19-9/15/19 Payroll	\$ 31,277.20
9/20/2019	EFT	California State Disbursement Unit	Wage Garnishment	\$ 250.00
9/23/2019	EFT	Empower Retirement	457 Plan Contributions (Payroll Deduction)	\$ 2,453.65
Total September 2019 Disbursements				\$ 698,570.00

**Port Director's Report
Debrief – California Marine Affairs and Navigation Conference (C-MANC) San Rafael, CA
October 9-11, 2019**

Attendees: Commissioner Goddard / Port Director Marian Olin

Commissioner Goddard attended CMANC's Board of Directors on Wednesday, October 9 as a new board member.

Member meetings were scheduled all day on Thursday, October 10, and a half day on Friday, October 11. In recognition of its members' busy schedules, CMANC's board is considering making modifications to its future meeting schedule to find efficiencies and increase attendance.

C-MANC hosted a variety of speakers (agenda attached). Mr. Stu Townsley and Mr. Jay Kinberger of the US Army Corps of Engineers ("USACE") both gave presentations. They are the Port District's direct contacts for the federal cost share reimbursement for our dredging operation. We were able to discuss the procedure and timing for the anticipated increase in our annual federal reimbursement from \$385,000/year to approximately \$525,000/year, and we discussed scheduling the new Commander of the San Francisco District, Lt. Col. Cunningham, to visit Santa Cruz Harbor in December and tour the dredge while in operation. Other speakers addressed regulatory issues and impacting California ports and harbors, and technology issues and opportunities and the US economy.

There was some interesting discussion and debate about a perception that the Corps' procedures create stagnation and an inability to respond to changing priorities to address critical issues such as sea level rise and wetland rebuilding through beneficial reuse of dredged material.

The meeting is an excellent opportunity to maintain and make new relationships with managers of other ports and harbors, regulators and marine industry professionals, including engineers and dredging contractors. The Port of San Diego shared valuable information relative to their Regional General Permit that will help the Port District with its permit effort. Many small harbors are interested in learning more about the Port District's dredging program and our Agreement with the USACE. The attendee list is attached.

CMANC updated its project funding recommendations for FY20 for Santa Cruz Port District to match the increased reimbursement we are seeking under our Memorandum of Agreement with the USACE. CMANC was scheduled to go to Washington, DC the following week and discuss its recommendations with agencies, legislators and their staff members.



ORGANIZED 1956

CALIFORNIA

MARINE AFFAIRS AND NAVIGATION CONFERENCE

20885 REDWOOD RD., #345, CASTRO VALLEY, CA 94546

PHONE: (925) 828-6215 ~ FAX: (925) 396-6005 ~ E-MAIL: Jim@cmanc.com ~ www.cmanc.com

FALL MEETING ~SAN RAFAEL, CALIFORNIA

Wednesday, October 9, 2019 ~ Friday, October 11, 2019

Hosted by the City of San Rafael

A G E N D A

Wednesday, October, 9

2:30 – 4:30 p.m. Board of Directors Meeting ~ *Santa Rosa Room*
5:00 – 7:00 p.m. Hosted Reception ~ *Corte Madera Room*

Thursday, October 10

8:00 – 8:30 a.m. Registration ~ *Mill Valley/Sausalito Room*
8:30 a.m. Welcome by Mr. Ryan Hernandez, Contra Costa County
Washington Update, Ms. Julie Minerva, Carpi & Clay
Mr. Stu Townsley, U.S. Army Corps of Engineers, SPN
Mr. Jon Haveman, National Economic Education Delegation

12:00 p.m. Lunch ~ *Santa Rosa Room*

1:00 p.m. Ms. Amy Hutzal, California Coastal Conservancy;
Mr. Harold Orlinksy, Chesapeake Technologies
Mr. John Hansen, West Coast Ocean Alliance
Mr. Jay Kinberger, U.S. Army Corps of Engineers, SPN and
Mr. Jim Fields, U.S. Army Corps of Engineers, SPN

CMANC Draft FY 2021 Recommendations

5:30 p.m. Reception and Dinner (6:30 p.m.) ~ *Terrapin Crossroads*

Friday, October 11

8:00 – 8:30 a.m. Registration ~ *Mill Valley/Sausalito Room*
8:30 a.m. Ms. Kelsey Ducklow, California Coastal Commission

Mr. Larry Goldzband, San Francisco Bay Conservation &
Development Commission

11:00 a.m. Mr. Brian Mulvey, U.S. Army Research & Development Center
Adjourn

Hotel: Embassy Suites 101 McInnis Parkway San Rafael, CA 94903 (415) 499-9222

To promote the operation, maintenance and improvement of California harbors, ports and navigation projects that demonstrate responsible stewardship and benefit the regional and national economy.

Jeff	Arnold	Channel Islands Harbor
Christina	Birdsey	Port of Hueneme
Susan	Brodeur	OC Parks
Joshua	Burnam	Anchor QEA
Jason	Cashman	Port of Stockton
Emmanuel	Chavez	USACE - SPL
Steve	Chew	Curtin Maritime Corp.
William	Davis	Ghirardelli Associates, Inc.
Edwin	Draper	Port of Oakland
Kelsey	Ducklow	California Coastal Commission
Steve	Dwyer	USACE - SPL
Cesar	Espinosa	LA County, Dept. of Beaches & Harbors
James	Fields	USACE - SPL
Stephen	Frailley	Pacific Tugboat Service
Jason	Giffen	Port of San Diego
Jaclyn	Gnusti	Anchor QEA
Toby	Goddard	Santa Cruz Port District
Larry	Goldzband	Bay Conservation & Development Commission
Bill	Guerin	City of San Rafael
Turel	Gur	Moffatt & Nichol
John	Hansen	West Coast Ocean Alliance
Jim	Haussener	CMANC
Jon	Haveman	National Economic Education Delegation
Ryan	Hernandez	Contra Costa County
Sheila	Higgins	Towill, Inc.
Amy	Hutzel	California Coastal Conservancy
Jay	Jahangiri	TRE
Jay	Kinberger	USACE - SPN
Anne	Landstrom	Moffatt & Nichol
Eileen	Maher	Port of San Diego
K J	May	Port of Hueneme
Jim	McNally	Manson Construction
Chris	Miller	City of Newport Beach
Julie	Minerva	Carpi Clay
Todd	Mitchell	Ventura Port District
Brian	Mulvey	USACE - ERDC
Larry	Oetker	Port of Humboldt Bay
Marian	Olin	Santa Cruz Port District
Harold	Orlinsky	Chesapeake Technologies
Richard	Parsons	Ventura Port District
Brian	Pendleton	Ventura Port District
Naomi	Rhoads	Moffatt & Nichol
Rick	Rhoads	Moffatt & Nichol
Dennis	Rodoni	Marin County
Parm	Sandhu	Port of Oakland
Stu	Townsley	USACE - SPN
Karl	Treiberg	City of Santa Barbara Waterfront Department
Thanh	Vuong	Port of Oakland
Will	Wallgren	The Dutra Group
Suzy	Watkins	Channel Islands Harbor
Tori	White	USACE - SPD
Jeff	Wingfield	Port of Stockton



TO: Port District Commission
FROM: Blake Anderson, Interim Harbormaster
DATE: October 21, 2019
SUBJECT: Harbormaster's Report -September 2019

California Coastal Cleanup Day

Harbor Patrol staff participated in a coastal cleanup focusing on waterside debris cleanup within the harbor. Staff utilized the patrol vessel and assisted eight volunteers on stand-up paddle boards with collecting garbage and debris. The volunteer team, along with the Harbor Patrol, removed nearly 70 pounds of debris from the waterway.

Patrol Vehicle

We are excited to announce that the Harbor Patrol's new patrol vehicle has been delivered. The vehicle is a 2019 Ford F150 crew cab pickup. Final outfitting is currently being done in Hollister and will include the addition of lights, siren, radio, cage and other law enforcement equipment.

Pile Replacement Project

Harbor Patrol staff has been working diligently with Bellingham Marine to coordinate vessel relocations for the Pile Repair and Replacement Project. The project comes at a time when available space is limited due to other activities such as north harbor dredging and the Aldo's Seawall Replacement Project.

Staff has been tasked with clearing docks so that the project's workflow is not interrupted. Thus far, staff has performed over 160 vessel relocations, with that number expected to be roughly 250 by the end of the project. In addition to vessel relocations, staff has been coordinating the "no parking" zones near E and F Docks to accommodate piling deliveries. Areas of the parking lot must be closed so that the large semi-trucks delivering the pilings can exit the harbor.

Entrance Sounding

With the commencement of the 2019-20 dredge season, Harbor Patrol staff will resume regular mapping of the entrance depths beginning the week of November 5, 2019. Soundings will be performed on Sundays and Wednesdays, weather permitting, or on an as-needed basis. Sounding data will be posted online.

Search and Rescue Vessel

The final grant paperwork for the new patrol boat has been submitted to the State of California, Department of Natural Resources. Staff anticipates receiving the grant agreement from the State within the next couple of weeks. Once authorization is received, staff will meet with representatives from Moose Boats to sign the contract, submit the initial payment, and begin the construction process. Staff will be in contact with the manufacturer and will make several visits to Vallejo during the build process. It is expected that the vessel will be ready for delivery in 12-14 months from the time of contract execution.

Offshore Certification

Senior Harbor Patrol staff is planning a night operations training for those Deputy Harbormasters who are in the process of obtaining their offshore certification. The training will focus on instrument use, navigation in low visibility, and will likely entail a voyage to Moss Landing Harbor. It is important for offshore certified coxswains to be familiar with entering other local harbors at night, should the need arise.

Crab Season

Staff anticipates that commercial crabbers will begin to ready their traps in preparation for the 2019 crab season. Staff will assign parking spaces to those individuals wishing to prepare gear in the parking lot. We are hopeful that the 2019 season proves bountiful for our local fleet.

Catamaran Storage

Its transition time for the catamaran beach storage program and you will begin to see the vessels move to the approved winter storage area in the main launch ramp parking lot. The catamarans are cleared off the beach to make room for dredging equipment and to be protected from winter storms. The catamarans then move back to the beach in late March to make room for trailers during the salmon season.

Facilities and Engineering Manager's Report

Public Meeting of October 29, 2019

Dredging:

Twin Lakes

Twin Lakes was moved to the south harbor on October 14, 2019. The tow went well and once she arrived at the digging grounds, staff spun her around and secured her with the anchors.

Dauntless

The rudder indicator is scheduled to be installed on the *Dauntless* on October 25, 2019.

Squirt

North harbor dredging commenced on Tuesday, October 1, 2019. The new serrated cutter head that was installed during the offseason is working well. The serrated edges perform more effectively in the coarse-grained material than the previous cutter head with smooth edges.

Toyo Pump

A new jet ring has been purchased and is scheduled to be delivered in late November or early December. The jet ring will help the Toyo dig a larger footprint in the fine-grained material by using pressurized water to blast mud and compacted material into slurry for disposal. The Toyo will be used in both the north harbor and entrance dredging operations this year.

Maintenance:

275 Lake Avenue

Crews completed the following improvements to the building at 275 Lake Avenue:

Exterior paint, dry rot repairs, termite damage repairs, window repairs, interior paint touch-up, and baseboard replacement.

345 Lake Avenue

Crews replaced the ceiling in the back-meeting room in the Save Our Shores office space, which was damaged after a galvanized water pipe between the first and second floors failed. Crews replaced the section of the broken pipe and completed the repair.

2222 East Cliff Drive

After a ceiling leak and a strong odor were reported from the upstairs men's restroom, crews found that the cast iron floor drain and trap primer had failed. Crews changed the drain and trap primer.

Miscellaneous:

Car Show

The 6th annual Santa Cruz Harbor Classic Car Show was held on Sunday, October 13, 2019. This year's show was well attended and had the largest registration turn out yet, totaling 92 cars and trucks. Spectators enjoyed beautiful weather, classic cars, and live music. The custom-made trophy was awarded to Robert Scott with his 1967 Chevy Malibu for "Best in Show".

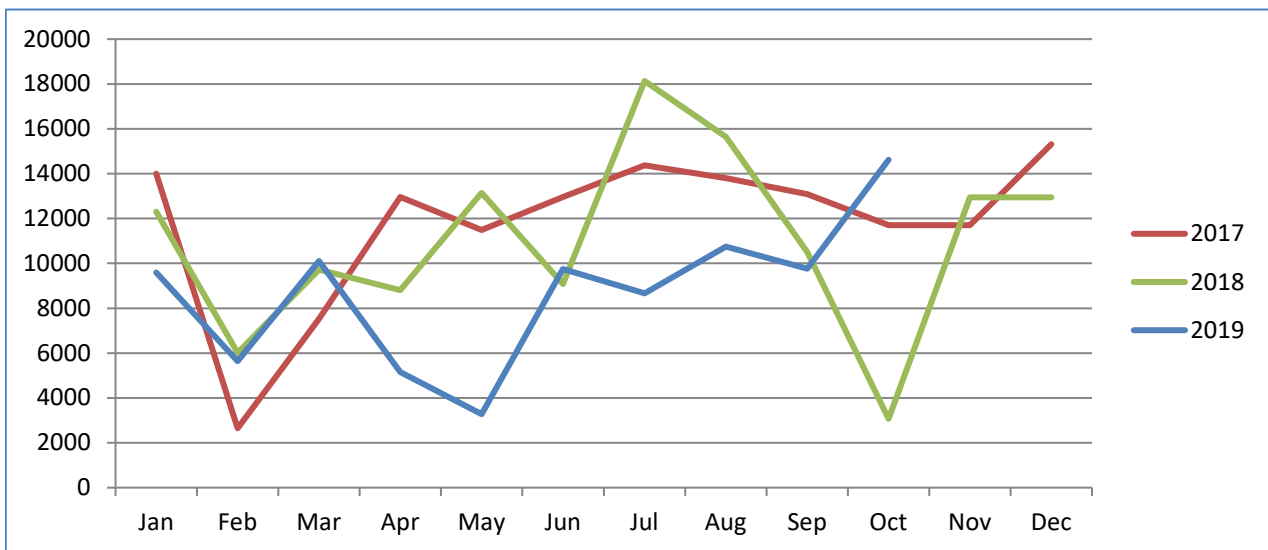
Pile Project

To date, Bellingham has driven 55 of the 80 piles scheduled to be replaced. There are 11 piles remaining to be driven in the north harbor and 14 remaining in the south harbor. Bellingham plans to complete the work in the north harbor by the end of October, and move to the south harbor to complete work by the second week of November. Demobilization is scheduled for the third week in November.

Santa Cruz Port District
60 DAY DELINQUENT ACCOUNTS

The following accounts have balances 60 days delinquent as of October 23, 2019

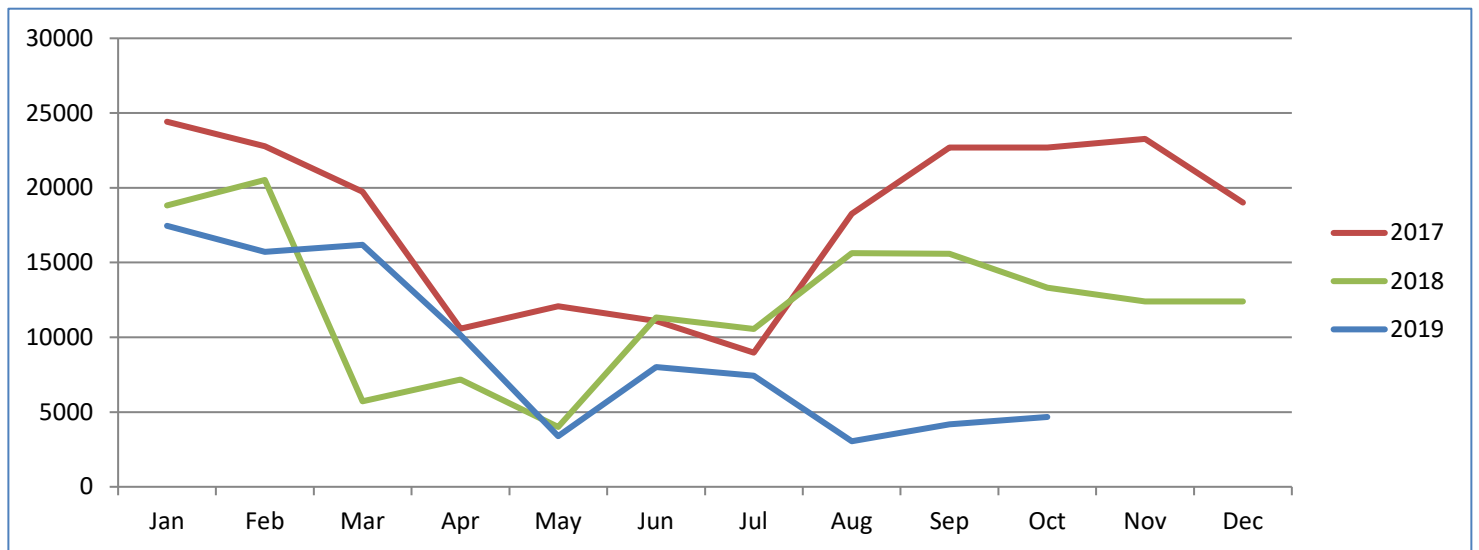
Account Number	Current Month	30 Day Balance	60 Day Balance	90 Day Balance	Total Balance
4134	1,214.10	1,154.56	1,170.02	0.00	3,538.68
56362	61.14	895.19	470.74	0.00	1,427.07
44246	465.84	412.43	412.83	0.00	1,291.10
56971	449.85	396.58	418.30	0.00	1,264.73
2093	486.88	467.99	271.63	0.00	1,226.50
56356	390.38	337.59	359.80	0.00	1,087.77
58160	383.21	330.48	352.75	0.00	1,066.44
46359	467.71	429.47	165.82	0.00	1,063.00
55562	325.45	273.20	295.94	0.00	894.59
57117	173.70	122.69	235.00	0.00	531.39
56995	172.95	121.95	145.94	0.00	440.84
58015	171.95	126.94	21.49	0.00	320.38
55153	111.47	60.96	85.46	0.00	257.89
3863	111.07	60.57	38.05	0.00	209.69
Total:	4,985.70	5,190.60	4,443.77	0.00	14,620.07



Santa Cruz Port District
90+ DAY DELINQUENT ACCOUNTS

The following accounts have balances 90 days delinquent or greater as of October 23, 2019

Account Number	Current Month	30 Day Balance	60 Day Balance	90+ Day Balance	Total Balance	Commercial Slip	Action
45260	497.05	443.44	464.84	918.86	2,324.19		Revoke Pending
57096	0.00	0.00	0.00	1,073.74	1,073.74		Bad Debt
57459	293.45	241.49	264.53	225.53	1,025.00		Revoke Pending
57928	0.00	0.00	0.00	248.84	248.84		Bad Debt
TOTAL:	790.50	684.93	729.37	2,466.97	4,671.77		



CHARTER / BUSINESS USE OF SLIPS ANNUAL REPORT

2019

CHARTER FEE

Annual Charter Fee Formula - Small (6 Pak): \$119*passenger rating, Medium (7-48 Pak): \$119*2*passenger rating, Large (49 + Pak): \$2 per passenger (base fee may apply)

Operator	Pak Rating	Slips Originating From:		Revenue Calculation:		Discounts:		Adjusted Revenue (After Discounts):		Comments:
		Commission	Waiting List	Annual Slip Rent	Annual Charter Fee	Public Benefit	Other	Annual Slip Rent	Annual Charter Fee	
Adams, R	6		1	5,355	714	0	0	5,355	714	
Armstrong, R	6		1	4,720	714	0	0	4,720	714	
Beauregard, J	49	1		12,586	24,000	0	0	12,586	24,000	2 slips from PYS combined into 1, 80' slip. (Chard III)
Beauregard, J	49	1		13,862	32,626	0	0	13,862	32,626	Minimum base charter fee of \$2,000 per month. (Chard II)
Dolan, T	12		1	6,293	1,428	0	0	6,293	1,428	1 slip, 1 6-pak charter vessel (2 6-pak charter approvals)
Pac.Yacht & Sail	60	9		52,093	7,140	0	0	52,093	7,140	9 slips, 10 6-pak charter vessels (PC approval April 2019)
Lighthall, S	12	2		13,571	1,428	0	0	13,571	1,428	2 slips, 2 6-pak charter vessels
Moore, J	6		1	6,293	714	0	0	6,293	714	
Olsen, B	6		1	7,900	714	0	0	7,900	714	
O'Neill Yacht Charters	49	1		13,907	5,831	35%	0	9,040	3,790	Slip rent and charter fee discounted by percentage use for O'Neill Sea Odyssey. See "Discounted Slips" below.
O'Neill, P	6		1	10,397	714	0	0	10,397	714	Not actively chartering (<i>Marie Celine</i>).
Roberts, F	10		1	8,664	2,380	0	0	8,664	2,380	
Stagnaro, K	65	1		11,263	7,735	0	0	11,263	7,735	
Stagnaro, K	46	1		10,397	5,474	0	0	10,397	5,474	Stagnaro Fishing. Slip awarded prior to creation of wait list.
Stoops, J	30		1	7,551	7,140	0	0	7,551	7,140	
Thom, B	6		1	10397	714	0	0	10,397	714	
				2019	\$6,908	\$0		\$180,306	\$97,425	
				2018	\$6,984	\$0		\$180,447	\$99,054	

BUSINESS USE OF SLIP

Annual Business Use Fee Formula is Equal to: 1.5 times slip rent.

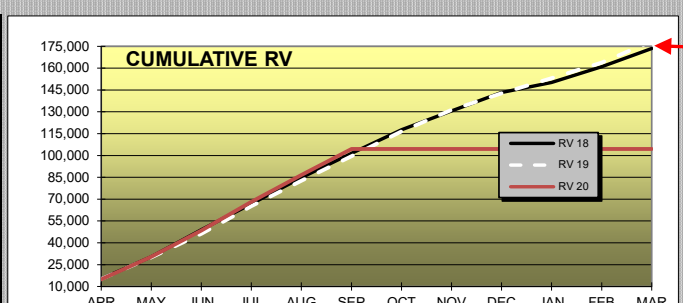
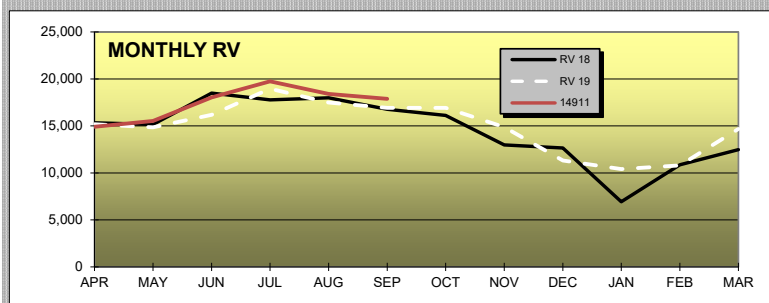
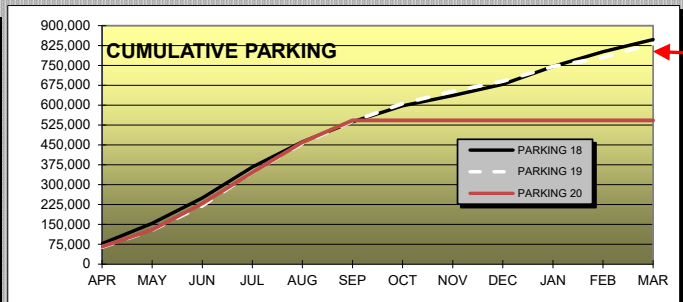
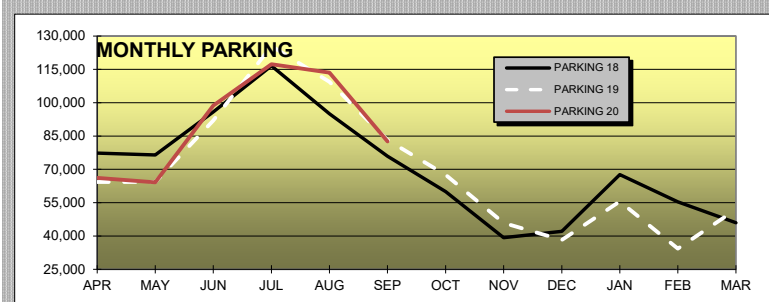
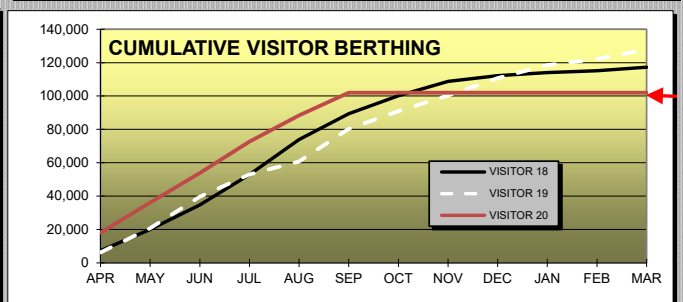
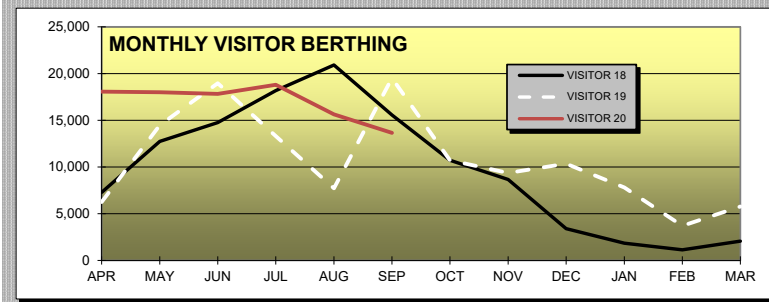
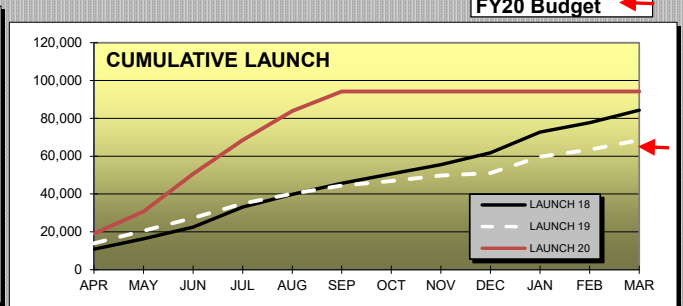
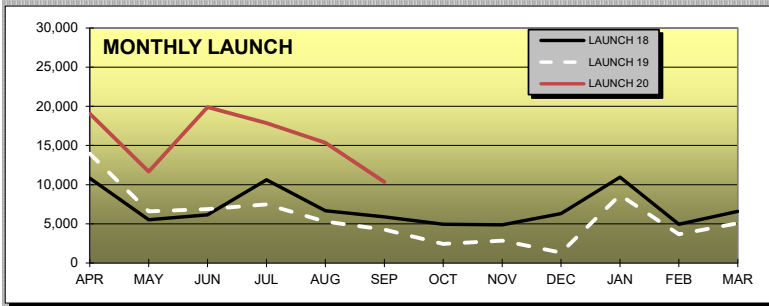
Operator	Pak Rating	Slips Originating From:		Revenue Calculation:		Discounts:		Adjusted Revenue (After Discounts):		Comments:
		Commission	Waiting List	Annual Slip Rent	Annual Bus. Use Fee	Public Benefit	Other	Annual Slip Rent	Annual Bus. Use Fee	
Ash, M	N/A	1		4,720	2,360	0	0	4,720	2,360	Vessel Assist
Kahn, P	N/A		1	10,397	5,198	0	0	10,397	5,198	Pegasus Racing
Kayak Connect.	N/A	1		4,464	2,232	0	0	4,464	2,232	Kayak Connection (U-Dock Float)
Lee, Bill	N/A		1	9,439	4,720	0	0	9,439	4,720	Wizard Yachts
Repass, R	N/A		1	6,293	3,146	0	0	6,293	3,146	West Marine
Thomas, K	6	1		5,355	2,678	0	0	5,355	2,678	Go Fish Santa Cruz Charters
				2019	\$40,668	\$20,334				
				2018	\$39,678	\$19,839				

DISCOUNTED SLIPS

Programs receiving public benefit discounts,

		Slips Originating From:		Revenue Calculation:		Discounts:		Adjusted Revenue (After Discounts):		
Operator	Pak Rating	Commission	Waiting List	Annual Slip Rent	Annual Base Rent	Public Benefit	Other	Annual Slip Rent	Annual Base Rent	Comments:
UCSC	N/A	4		16,047	21,406	50%	0	16,047	10,703	50% discount applied to "Annual Base Rent" only, not slips.
O'Neill Sea Odyssey	49	1		4,867		100%	0	0	0	Assigned slip is F-1.
Sea Scouts	N/A	1		10,480		100%	0	0		Annual slip rent revenue is estimated NH Wide 45' rate @ 60'
				2019	\$26,050	\$0		\$16,047	\$10,703	
				<u>2018</u>	\$25,401	\$0		\$15,655	\$10,242	

SEASONAL INCOME



EMPLOYEE COUNT AT 9/30/19

FTE%
Regular Unrepresented

ADMIN	Eldridge, Mark	100.0%		Accounting Technician II
ADMIN	Ghisletta, Renee	100.0%		Administrative Assistant I
ADMIN	MacLaurie, Holland	100.0%		Admin. Services Manager
ADMIN	Olin, Marian	100.0%		Port Director
FACILITIES	Acevedo, Arturo	100.0%		Maintenance Worker II
FACILITIES	Blaz, Matthew	100.0%		Dredge Worker II
FACILITIES	Gerretson, Adrian		var	Temporary Harbor Maintenance Worker
FACILITIES	Gullo, Nicholas	100.0%		Supervising Maint. Worker
FACILITIES	Kerkes, Matt	100.0%		Facilities, Maint & Engineering Mgr
FACILITIES	Laine, Jason	100.0%		Dredge Worker II
FACILITIES	Lopez, Jorge	100.0%		Maintenance Worker II
FACILITIES	Lopez-Martinez, Jorge		prov	Maintenance Worker I
FACILITIES	Marty, Randy	100.0%		Maintenance Worker III
FACILITIES	Ramos, Brenda	100.0%		Facilities Coordinator
FACILITIES	Rodriguez, Brian		var	Weekend Janitorial
FACILITIES	Sengezer, Chris	100.0%		Supervising Dredge Worker
FACILITIES	Stipanovich, Rory	100.0%		Dredge Worker III
FACILITIES	Tandoi, Steven	100.0%		Dredge Worker II
FACILITIES	Vera, Jose	100.0%		Maintenance Worker II
FACILITIES	Wagoner, Joshua	100.0%		Dredge Worker II
OPERATIONS	Agnew, John		var	Reserve Deputy Harbormaster
OPERATIONS	Amundson, Greg		var	Reserve Deputy Harbormaster
OPERATIONS	Anderson, Blake	100.0%		Assistant Harbormaster
OPERATIONS	Bayse, Amy		var	Parking Control
OPERATIONS	Giles, Robert		var	Operations Assistant & Dredge Monitor
OPERATIONS	Gitler, Mark		var	Operations Assistant & Dredge Monitor
OPERATIONS	Hann, Alfred		var	Operations Assistant & Dredge Monitor
OPERATIONS	Hill, David	100.0%		Deputy Harbormaster
OPERATIONS	Hoessel, James		var	Boatyard Crew
OPERATIONS	King, Kevin	100.0%		Deputy Harbormaster
OPERATIONS	Kinnamon, Don	100.0%		Senior Deputy Harbormaster
OPERATIONS	Kurrle, Madison		var	Parking Control
OPERATIONS	Leonard, Jacob		var	Parking Control
OPERATIONS	Loelhoeffel, Katrin		var	Parking Control & Dredge Monitor
OPERATIONS	Marshall, Latisha	100.0%		Harbormaster
OPERATIONS	McCauley, Koby	100.0%		Deputy Harbormaster
OPERATIONS	McGraw, Angelita	100.0%		Parking Coordinator
OPERATIONS	Melrose, Kevin	100.0%		Boatyard Crew
OPERATIONS	Melrose, Peter		var	Parking Control
OPERATIONS	Melrose, Richard		var	Operations Assistant
OPERATIONS	Merritt, Carol		var	Parking Control
OPERATIONS	Pasquali, Richard		var	Parking Control
OPERATIONS	Rank, Jordan	100.0%		Deputy Harbormaster
OPERATIONS	Rothwell, Niki	100.0%		Customer Service Rep.
OPERATIONS	Rothwell, Sean	100.0%		Deputy Harbormaster
OPERATIONS	Stephenson, Ryan	100.0%		Boatyard Supervisor
OPERATIONS	Vaughan, Victoria		var	Parking Control
OPERATIONS	Waters, Peggy		var	Parking Control

Total FTE's 29

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

Account	Description	MTD	YTD	FY20 BUDGET	REMAINING	% BUDGET
OPERATING INCOME						
000-000-000-0000-4000	Slip Rent Permanent	\$378,785	\$2,255,794	\$4,468,258	(\$2,212,463)	50%
000-000-000-0000-4002	Slip Rent Visitors	\$13,652	\$101,988	\$100,000	\$1,988	102%
000-000-000-0000-4003	Annual Slip Rent Discount	(\$15)	(\$1,061)	(\$1,000)	(\$61)	106%
000-000-000-0000-4006	Tenant Concession Rent	\$178,538	\$959,874	\$1,799,980	(\$840,106)	53%
000-000-000-0000-4008	Misc. Tenant Rent (Sewer)	\$5,683	\$103,238	\$120,000	(\$16,762)	86%
000-000-000-0000-4010	Launch Fees	\$10,351	\$94,211	\$65,000	(\$29,211)	145%
000-000-000-0000-4012	Liveaboard	\$6,450	\$37,100	\$72,000	(\$34,900)	52%
000-000-000-0000-4014	Catamaran Storage	\$2,479	\$13,248	\$22,550	(\$9,302)	59%
000-000-000-0000-4016	North Harbor Dry Storage	\$15,262	\$91,289	\$174,250	(\$82,961)	52%
000-000-000-0000-4018	7th Ave Dry Storage	\$9,433	\$55,447	\$107,625	(\$52,178)	52%
000-000-000-0000-4020	Waiting List	\$850	\$16,300	\$100,000	(\$83,700)	16%
000-000-000-0000-4024	Slip Leave Option	\$0	\$500	\$500	\$0	100%
000-000-000-0000-4026	Partnership Fees	\$2,367	\$13,600	\$29,500	(\$15,900)	46%
000-000-000-0000-4028	Sublease Fees	\$1,807	\$10,054	\$22,294	(\$12,239)	45%
000-000-000-0000-4030	Variable/Utility Fees	\$16,372	\$98,572	\$193,213	(\$94,641)	51%
000-000-000-0000-4032	Late Fees	\$4,341	\$24,962	\$50,000	(\$25,038)	50%
000-000-000-0000-4036	Citations	\$14,867	\$57,216	\$90,000	(\$32,784)	64%
000-000-000-0000-4040	Credit Card Convenience Charges	\$1,613	\$9,045	\$12,000	(\$2,955)	75%
000-000-000-0000-4100	Parking - Concession Lot	\$41,114	\$271,247	\$775,000	(\$503,753)	69%
000-000-000-0000-4102	Parking - Launch Area	\$3,426	\$37,845		\$37,845	0%
000-000-000-0000-4104	Parking - Westside	\$15,159	\$84,642		\$70,767	0%
000-000-000-0000-4118	Meter Permits & Coin	\$22,458	\$141,211		\$127,383	0%
000-000-000-0000-4120	Slip Renter Parking Permits	\$450	\$7,578	\$18,000	(\$10,422)	42%
000-000-000-0000-4122	RV Parking	\$17,875	\$104,490	\$175,000	(\$70,510)	60%
000-000-000-0000-4200	Fuel Sales Gasoline	\$15,859	\$189,437	\$205,000	(\$15,563)	92%
000-000-000-0000-4202	Fuel Sales Diesel	\$28,059	\$321,969	\$380,000	(\$58,031)	85%
000-000-000-0000-4204	Fuel Service Call Back Charges	\$10	\$20		\$20	0%
000-000-000-0000-4210	Wash Rack	\$825	\$5,460	\$8,000	(\$2,540)	68%
000-000-000-0000-4220	Boatyard Retail	\$307	\$7,606	\$10,000	(\$2,394)	76%
000-000-000-0000-4225	Boatyard Labor	\$0	\$161	\$1,000	(\$840)	16%
000-000-000-0000-4230	Boatyard Rental	\$290	\$2,000	\$1,800	\$200	111%
000-000-000-0000-4235	Boatyard Misc.	\$2,896	\$15,584	\$20,000	(\$4,416)	78%
000-000-000-0000-4240	Lay Days/Storage	\$10,491	\$61,069	\$100,000	(\$38,931)	61%
000-000-000-0000-4245	Vessel Haulout	\$8,760	\$79,784	\$102,000	(\$22,217)	78%
000-000-000-0000-4250	Vessel Berthing	\$3,824	\$21,381	\$15,000	\$6,381	143%
000-000-000-0000-4299	Unallocated Revenue				\$0	0%
OPERATING INCOME		\$834,637	\$5,292,858	\$9,236,969	(\$3,944,111)	57%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

EXPENSE SUMMARY BY PROGRAM

Administrative Services (110)	\$51,497	\$355,338	\$741,251	\$385,913	48%
Finance & Purchasing (120)	\$12,571	\$100,297	\$198,454	\$98,157	51%
Property Management (130)	\$25,982	\$178,095	\$453,120	\$275,025	39%
Environmental & Permitting (140)	\$55,968	\$94,501	\$201,746	\$107,245	47%
Port Commission Support (190)	\$4,777	\$25,315	\$53,530	\$28,215	47%
Harbor Patrol (210)	\$56,583	\$338,727	\$665,018	\$326,291	51%
Marina Management (220)	\$39,868	\$229,314	\$486,768	\$257,454	47%
Rescue Services (230)	\$6,664	\$65,329	\$111,059	\$45,730	59%
Parking Services (240)	\$23,839	\$183,079	\$387,081	\$204,002	47%
Events (250)	\$1,397	\$12,318	\$42,503	\$30,185	29%
Fuel Services (280)	\$44,408	\$391,762	\$465,031	\$73,269	84%
Docks, Piers, Marine Structures (310)	\$14,790	\$99,618	\$268,437	\$168,819	37%
Utilities (320)	\$4,126	\$38,871	\$132,939	\$94,068	29%
Buildings (330)	\$12,704	\$133,233	\$358,609	\$225,376	37%
Grounds (340)	\$54,214	\$368,027	\$755,694	\$387,667	49%
Aeration (350)	\$3,135	\$21,523	\$58,458	\$36,935	37%
Fishery Support (360)	\$288	\$2,142	\$19,236	\$17,094	11%
Capital Projects (390)	\$138	\$254,891	\$512,437	\$257,546	50%
Dredging Operations (400)	\$75,119	\$679,852	\$1,393,183	\$713,331	49%
Boatyard Operations (500)	\$12,579	\$140,955	\$285,214	\$144,259	49%
OPERATING EXPENSES	\$500,646	\$3,713,185	\$7,589,768	\$3,876,583	49%

OPERATING PROFIT

\$333,990	\$1,579,673	\$1,647,201	\$67,528	96%
------------------	--------------------	--------------------	-----------------	------------

NON OPERATING INCOME/(EXPENSE)

000-000-000-0000-4300 Harbor Services Charge	\$2,111	\$3,395	\$10,000	(\$6,605)	34%
000-000-000-0000-4308 Interest Income	\$131	\$79,034	\$117,300	(\$38,266)	67%
000-000-000-0000-4310 Other Income	\$4,978	\$23,895	\$55,000	(\$31,105)	43%
000-000-000-0000-4375 USACE Reimbursement	\$192,500	\$193,749	\$385,000	(\$191,251)	50%
000-000-000-0000-4402 Grants - Federal	\$1,720	\$1,720		\$1,720	0%
000-000-000-0000-4405 Grants - DBAW	\$12,971	\$21,471	\$30,000	(\$8,529)	72%
000-000-000-0000-4406 County Rescue Contribution	\$0	\$23,736	\$23,725	\$11	100%
000-000-000-0000-4408 Waste Oil Grant	\$3,582	\$3,582	\$12,000	(\$8,418)	30%
000-000-000-0000-4500 Gain/(Loss) on Asset Disposal	\$0	\$3,913		\$3,913	0%
000-000-000-0000-4600 Cash Over/Under	(\$19)	\$594		\$594	0%
Principal Debt Payments	\$0	(\$619,291)	(\$1,240,105)	\$620,814	50%
Capital Improvement Program	(\$29,038)	(\$638,380)	\$0	(\$638,380)	0%
Capitalized Expenses	(\$13,406)	(\$109,464)	(\$338,956)	\$229,492	32%
Depreciation	(\$140,002)	(\$840,009)	\$0	(\$840,009)	0%

NET INCOME/(LOSS)

\$369,519	(\$272,384)	\$701,165	(\$973,549)	(39%)
------------------	--------------------	------------------	--------------------	--------------

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

ADMINISTRATIVE SERVICES DEPT.

Salaries - Regular	\$30,726	\$171,526	\$382,634	\$211,108	45%
Salaries - Overtime	\$0	\$3,054	\$6,000	\$2,946	51%
Wages - Part Time/Temporary	\$0	\$12,974	\$46,000	\$33,026	28%
Salaries - Comp. Time	\$0	\$557	\$0	(\$557)	0%
Salaries - Vacation Pay	\$0	\$3,104	\$5,000	\$1,896	62%
Salaries - Holiday Pay	\$0	\$297	\$0	(\$297)	0%
Unemployment Insurance (SUI)	\$0	(\$623)	\$4,009	\$4,632	(16%)
FICA Medicare/Social Security	\$2,393	\$15,054	\$29,858	\$14,804	50%
Auto Allowance	\$200	\$1,200	\$2,400	\$1,200	50%
Workers' Compensation	\$1,012	\$6,888	\$17,759	\$10,871	39%
CalPERS Employer Share	\$3,475	\$19,959	\$43,178	\$23,219	46%
CalPERS Unfunded Accrued Liability	\$4,929	\$26,894	\$56,466	\$29,572	48%
Health Insurance	\$5,879	\$33,517	\$63,212	\$29,695	53%
Dental Insurance	\$448	\$2,390	\$4,697	\$2,307	51%
Long Term Disability/Life/AD&D	\$0	\$886	\$1,838	\$952	48%
Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
Printing & Newsletter	\$806	\$6,693	\$14,000	\$7,307	48%
Legal Notices	\$0	\$0	\$1,000	\$1,000	0%
Advertising	\$0	\$1,954	\$3,500	\$1,546	56%
Postage	\$491	\$3,503	\$12,000	\$8,497	29%
Promotional Expense	\$0	\$707	\$5,000	\$4,293	14%
Office Supplies	\$500	\$4,659	\$13,950	\$9,291	33%
Supplies	\$0	\$93	\$2,100	\$2,007	4%
Vehicle & Equipment Fuel	\$0	\$106	\$1,000	\$894	11%
Miscellaneous Employee Training	\$309	\$409	\$1,000	\$591	41%
Pre-Employment Physicals	\$42	\$228	\$1,000	\$772	23%
Equipment Rental	\$0	\$225	\$1,000	\$775	23%
Insurance Premiums	\$10,317	\$61,900	\$125,000	\$63,100	50%
Insurance Claims	\$4,874	\$8,328	\$6,000	(\$2,328)	139%
Memberships, Dues, Subscriptions	\$2,100	\$9,775	\$13,250	\$3,475	74%
Meetings & Training	\$169	\$4,671	\$14,250	\$9,579	33%
Books	\$0	\$0	\$400	\$400	0%
Software	\$0	\$0	\$500	\$500	0%
Permit Fees	\$50	\$4,444	\$8,000	\$3,556	56%
Bank Service Charges	\$1,655	\$7,653	\$30,000	\$22,347	26%
Credit Card Fees	\$2,303	\$13,805	\$22,000	\$8,195	63%
Data Storage	\$582	\$1,421	\$3,000	\$1,579	47%
Employee Recognition	\$0	\$1,610	\$3,000	\$1,390	54%
Miscellaneous Expenses	\$0	\$2,407	\$6,500	\$4,093	37%
Commission Expenses	\$0	\$0	\$500	\$500	0%
Interest Expense	\$0	\$119	\$2,000	\$1,881	6%
Gas & Electricity	\$3,356	\$31,611	\$80,000	\$48,389	40%
Water, Sewer, Garbage	\$12,315	\$81,310	\$135,000	\$53,690	60%
Telephone & Alarms	\$2,391	\$17,113	\$37,000	\$19,887	46%
Sanitary Dist. Charges	\$0	\$0	\$96,000	\$96,000	0%
Miscellaneous Professional Services	\$800	\$6,756	\$12,000	\$5,244	56%
Legal Consultation	\$598	\$41,497	\$56,000	\$14,503	74%
Technical Services	\$54,375	\$61,844	\$112,000	\$50,156	55%
Contract Services	\$459	\$4,398	\$12,000	\$7,602	37%
Uniform Cleaning/Laundry	\$0	\$0	\$250	\$250	0%
Other Services	\$0	\$2,333	\$10,000	\$7,667	23%
AGWA	\$0	\$0	\$12,000	\$12,000	0%
Accounting & Auditing	\$1,601	\$38,651	\$46,000	\$7,349	84%
Software License & Application	\$875	\$8,658	\$20,500	\$11,842	42%
LAFCO Assessment	\$0	\$12,191	\$14,000	\$1,809	87%
Mileage Reimbursement	\$0	\$51	\$1,650	\$1,599	3%
Meetings & Seminars	\$0	\$64	\$3,000	\$2,936	2%
Signage	\$0	\$0	\$200	\$200	0%
Office Equipment R&M	\$0	\$2,333	\$20,000	\$17,667	12%
Vehicle Maintenance	\$0	\$0	\$2,000	\$2,000	0%
Permits & Inspections	\$0	\$1,051	\$2,500	\$1,449	42%
Equipment/Equipment R&M	\$768	\$6,301	\$18,000	\$11,699	35%
TOTAL ADMIN. SERVICES DEPT.	\$150,795	\$748,546	\$1,648,101	\$899,555	45%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

ADMINISTRATIVE SERVICES (110)						
100-100-110-0000-5000	Salaries - Regular	\$19,415	\$115,615	\$233,452	\$117,837	50%
100-100-110-0000-5005	Salaries - Overtime			\$1,000	\$1,000	0%
100-100-110-0000-5010	Wages - Part Time/Temporary			\$2,000	\$2,000	0%
100-100-110-0000-5020	Salaries - Vacation Pay	\$0	\$3,104	\$5,000	\$1,896	62%
100-100-110-0000-5055	Unemployment Insurance (SUI)	\$0	(\$269)	\$2,000	\$2,269	(13%)
100-100-110-0000-5060	FICA Medicare/Social Security	\$1,522	\$9,298	\$17,259	\$7,961	54%
100-100-110-0000-5075	Auto Allowance	\$200	\$1,200	\$2,400	\$1,200	50%
100-100-110-0000-5105	Workers' Compensation	\$585	\$3,982	\$10,266	\$6,284	39%
100-100-110-0000-5110	CalPERS Employer Share	\$2,224	\$12,775	\$27,636	\$14,861	46%
100-100-110-0000-5112	CalPERS Unfunded Liability	\$3,155	\$17,213	\$36,140	\$18,927	48%
100-100-110-0000-5115	Health Insurance	\$3,477	\$19,777	\$37,021	\$17,244	53%
100-100-110-0000-5120	Dental Insurance	\$259	\$1,381	\$2,715	\$1,334	51%
100-100-110-0000-5125	Long Term Disability/Life/AD&D	\$0	\$512	\$1,062	\$550	48%
100-100-110-0000-5140	Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
100-100-110-0000-5200	Printing & Newsletter	\$806	\$6,693	\$14,000	\$7,307	48%
100-100-110-0000-5202	Legal Notices			\$1,000	\$1,000	0%
100-100-110-0000-5204	Advertising	\$0	\$1,954	\$2,000	\$46	98%
100-100-110-0000-5206	Postage	\$491	\$3,503	\$12,000	\$8,497	29%
100-100-110-0000-5208	Promotional Expense	\$0	\$707	\$5,000	\$4,293	14%
100-100-110-0000-5214	Office Supplies	\$500	\$4,500	\$13,000	\$8,500	35%
100-100-110-0000-5217	Supplies	\$0	\$70	\$1,000	\$930	7%
100-100-110-0000-5240	Miscellaneous Employee Training	\$309	\$409	\$1,000	\$591	41%
100-100-110-0000-5242	Pre-Employment Physicals	\$42	\$228	\$1,000	\$772	23%
100-100-110-0000-5256	Equipment Rental	\$0	\$225	\$1,000	\$775	23%
100-100-110-0000-5262	Insurance Premiums	\$1,523	\$9,138	\$20,000	\$10,862	46%
100-100-110-0000-5264	Insurance Claims	\$4,874	\$8,328	\$6,000	(\$2,328)	139%
100-100-110-0000-5266	Memberships, Dues, Subscriptions	\$2,100	\$9,560	\$13,000	\$3,440	74%
100-100-110-0000-5268	Meetings & Training	\$0	\$856	\$5,000	\$4,144	17%
100-100-110-0000-5270	Books			\$300	\$300	0%
100-100-110-0000-5282	Bank Service Charges	\$1,655	\$7,653	\$30,000	\$22,347	26%
100-100-110-0000-5284	Credit Card Fees	\$2,303	\$13,805	\$22,000	\$8,195	63%
100-100-110-0000-5286	Data Storage	\$582	\$1,421	\$3,000	\$1,579	47%
100-100-110-0000-5288	Employee Recognition	\$0	\$1,610	\$3,000	\$1,390	54%
100-100-110-0000-5290	Miscellaneous Expenses	\$0	\$225	\$1,000	\$775	23%
100-100-110-0000-5298	Interest Expense	\$0	\$119	\$2,000	\$1,881	6%
100-100-110-0000-5310	Telephone & Alarms	\$1,938	\$13,870	\$30,000	\$16,130	46%
100-100-110-0000-5415	Miscellaneous Professional Services	\$800	\$6,756	\$12,000	\$5,244	56%
100-100-110-0000-5416	Legal Consultation	\$598	\$40,746	\$50,000	\$9,254	81%
100-100-110-0000-5420	Technical Services	\$39	\$3,560	\$20,000	\$16,440	18%
100-100-110-0000-5425	Contract Services	\$459	\$4,398	\$12,000	\$7,602	37%
100-100-110-0000-5450	Other Services	\$0	\$2,333	\$10,000	\$7,667	23%
100-100-110-0000-5460	Accounting & Auditing	\$0	\$480		(\$480)	0%
100-100-110-0000-5465	Software License & Application	\$875	\$8,658	\$20,000	\$11,342	43%
100-100-110-0000-5470	LAFCO Assessment	\$0	\$12,191	\$14,000	\$1,809	87%
100-100-110-0000-5500	Mileage Reimbursement	\$0	\$51	\$1,000	\$949	5%
100-100-110-0000-5510	Meetings & Seminars	\$0	\$64	\$3,000	\$2,936	2%
100-100-110-0000-5694	Office Equipment R&M	\$0	\$2,333	\$20,000	\$17,667	12%
100-100-110-0000-5698	Equipment/Equipment R&M	\$768	\$4,305	\$10,000	\$5,695	43%
TOTAL ADMINISTRATIVE SERVICES		\$51,497	\$355,338	\$741,251	\$385,913	48%

FINANCE & PURCHASING (120)						
100-100-120-0000-5000	Salaries - Regular	\$7,302	\$34,814	\$94,864	\$60,050	37%
100-100-120-0000-5005	Salaries - Overtime			\$1,000	\$1,000	0%
100-100-120-0000-5010	Wages - Part Time/Temporary			\$1,000	\$1,000	0%
100-100-120-0000-5015	Salaries - Comp. Time	\$0	\$557		(\$557)	0%
100-100-120-0000-5025	Salaries - Holiday Pay	\$0	\$297		(\$297)	0%
100-100-120-0000-5030	Salaries - Sick Pay	\$0	\$2,782		(\$2,782)	0%
100-100-120-0000-5055	Unemployment Insurance (SUI)	\$0	(\$31)	\$1,163	\$1,194	(3%)
100-100-120-0000-5060	FICA Medicare/Social Security	\$559	\$2,944	\$7,294	\$4,350	40%
100-100-120-0000-5105	Workers' Compensation	\$247	\$1,683	\$4,338	\$2,655	39%
100-100-120-0000-5110	CalPERS Employer Share	\$579	\$3,323	\$7,189	\$3,866	46%
100-100-120-0000-5112	CalPERS Unfunded Liability	\$821	\$4,478	\$9,402	\$4,924	48%
100-100-120-0000-5115	Health Insurance	\$1,354	\$7,700	\$15,458	\$7,758	50%
100-100-120-0000-5120	Dental Insurance	\$109	\$584	\$1,147	\$563	51%
100-100-120-0000-5125	Long Term Disability/Life/AD&D	\$0	\$216	\$449	\$233	48%
100-100-120-0000-5214	Office Supplies	\$0	\$159	\$750	\$591	21%
100-100-120-0000-5266	Memberships, Dues, Subscriptions	\$0	\$215	\$250	\$35	86%
100-100-120-0000-5268	Meetings & Training	\$0	\$360	\$2,000	\$1,640	18%
100-100-120-0000-5272	Software			\$500	\$500	0%
100-100-120-0000-5290	Miscellaneous Expenses			\$1,000	\$1,000	0%
100-100-120-0000-5420	Technical Services	\$0	\$216	\$2,000	\$1,784	11%
100-100-120-0000-5460	Accounting & Auditing	\$1,601	\$38,171	\$46,000	\$7,829	83%
100-100-120-0000-5465	Software License & Application			\$500	\$500	0%
100-100-120-0000-5500	Mileage Reimbursement			\$150	\$150	0%
100-100-120-0000-5698	Equipment/Equipment R&M	\$0	\$1,830	\$2,000	\$170	91%
TOTAL FINANCE & PURCHASING		\$12,571	\$100,297	\$198,454	\$98,157	51%

PROPERTY MANAGEMENT (130)						
100-100-130-0000-5000	Salaries - Regular	\$436	\$2,561	\$9,939	\$7,378	26%
100-100-130-0000-5055	Unemployment Insurance (SUI)			\$121	\$121	0%
100-100-130-0000-5060	FICA Medicare/Social Security	\$34	\$199	\$761	\$562	26%
100-100-130-0000-5105	Workers' Compensation	\$26	\$175	\$452	\$277	39%
100-100-130-0000-5110	CalPERS Employer Share	\$171	\$980	\$2,119	\$1,139	46%
100-100-130-0000-5112	CalPERS Unfunded Liability	\$242	\$1,320	\$2,772	\$1,452	48%
100-100-130-0000-5115	Health Insurance	\$144	\$838	\$1,539	\$701	54%
100-100-130-0000-5120	Dental Insurance	\$11	\$61	\$120	\$59	51%
100-100-130-0000-5125	Long Term Disability/Life/AD&D	\$0	\$23	\$47	\$24	48%
100-100-130-0000-5204	Advertising			\$1,500	\$1,500	0%
100-100-130-0000-5262	Insurance Premiums	\$8,794	\$52,761	\$105,000	\$52,239	50%
100-100-130-0000-5268	Meetings & Training	\$0	\$82	\$750	\$668	11%
100-100-130-0000-5290	Miscellaneous Expenses	\$0	\$2,182	\$4,000	\$1,818	55%
100-100-130-0000-5300	Gas & Electricity	\$3,356	\$31,611	\$80,000	\$48,389	40%
100-100-130-0000-5305	Water, Sewer & Garbage	\$12,315	\$81,310	\$135,000	\$53,690	60%
100-100-130-0000-5310	Telephone & Alarms	\$453	\$3,242	\$7,000	\$3,758	46%
100-100-130-0000-5315	Sanitary Dist Charges			\$96,000	\$96,000	0%
100-100-130-0000-5416	Legal Consultation	\$0	\$751	\$6,000	\$5,250	13%
TOTAL PROPERTY MANAGEMENT		\$25,982	\$178,095	\$453,120	\$275,025	39%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

ENVIRONMENTAL & PERMITTING (140)

100-100-140-0000-5000	Salaries - Regular	\$427	\$4,730	\$16,879	\$12,149	28%
100-100-140-0000-5005	Salaries - Overtime	\$0	\$3,054	\$3,000	(\$54)	102%
100-100-140-0000-5010	Wages - Part Time/Temporary	\$0	\$12,974	\$42,000	\$29,026	31%
100-100-140-0000-5055	Unemployment Insurance (SUI)	\$0	(\$423)	\$358	\$781	(118%)
100-100-140-0000-5060	FICA Medicare/Social Security	\$33	\$1,530	\$2,243	\$713	68%
100-100-140-0000-5105	Workers' Compensation	\$76	\$517	\$1,334	\$817	39%
100-100-140-0000-5110	CalPERS Employer Share	\$242	\$1,393	\$3,013	\$1,620	46%
100-100-140-0000-5112	CalPERS Unfunded Liability	\$344	\$1,877	\$3,940	\$2,063	48%
100-100-140-0000-5115	Health Insurance	\$425	\$2,522	\$4,538	\$2,016	56%
100-100-140-0000-5120	Dental Insurance	\$34	\$179	\$353	\$174	51%
100-100-140-0000-5125	Long Term Disability/Life/AD&D	\$0	\$67	\$138	\$71	48%
100-100-140-0000-5217	Supplies	\$0	\$23	\$1,000	\$977	2%
100-100-140-0000-5235	Vehicle & Equipment Fuel	\$0	\$106	\$1,000	\$894	11%
100-100-140-0000-5268	Meetings & Training	\$0	\$5	\$500	\$495	1%
100-100-140-0000-5276	Permit Fees	\$50	\$4,444	\$8,000	\$3,556	56%
100-100-140-0000-5292	Uniform Cleaning/Laundry			\$250	\$250	0%
100-100-140-0000-5420	Technical Services	\$54,336	\$58,068	\$90,000	\$31,932	65%
100-100-140-0000-5455	AGWA			\$12,000	\$12,000	0%
100-100-140-0000-5500	Mileage Reimbursement			\$500	\$500	0%
100-100-140-0000-5625	Signage			\$200	\$200	0%
100-100-140-0000-5650	Storm Drain Maintenance	\$0	\$2,218		(\$2,218)	0%
100-100-140-0000-5665	Vehicle Maintenance			\$2,000	\$2,000	0%
100-100-140-0000-5696	Permits & Inspections	\$0	\$1,051	\$2,500	\$1,449	42%
100-100-140-0000-5698	Equipment/Equipment R&M	\$0	\$166	\$6,000	\$5,834	3%
TOTAL ENVIRONMENTAL & PERMITTING		\$55,968	\$94,501	\$201,746	\$107,245	47%

PORT COMMISSION SUPPORT (190)

100-100-190-0000-5000	Salaries - Regular	\$3,146	\$13,805	\$27,500	\$13,695	50%
100-100-190-0000-5005	Salaries - Overtime			\$1,000	\$1,000	0%
100-100-190-0000-5010	Wages - Part Time/Temporary			\$1,000	\$1,000	0%
100-100-190-0000-5055	Unemployment Insurance (SUI)	\$0	\$100	\$367	\$267	27%
100-100-190-0000-5060	FICA Medicare/Social Security	\$245	\$1,083	\$2,301	\$1,218	47%
100-100-190-0000-5105	Workers' Compensation	\$78	\$531	\$1,369	\$838	39%
100-100-190-0000-5110	CalPERS Employer Share	\$259	\$1,489	\$3,221	\$1,732	46%
100-100-190-0000-5112	CalPERS Unfunded Liability	\$368	\$2,006	\$4,212	\$2,206	48%
100-100-190-0000-5115	Health Insurance	\$479	\$2,680	\$4,656	\$1,976	58%
100-100-190-0000-5120	Dental Insurance	\$35	\$184	\$362	\$178	51%
100-100-190-0000-5125	Long Term Disability/Life/AD&D	\$0	\$68	\$142	\$74	48%
100-100-190-0000-5214	Office Supplies			\$200	\$200	0%
100-100-190-0000-5217	Supplies			\$100	\$100	0%
100-100-190-0000-5268	Meetings & Training	\$169	\$3,368	\$6,000	\$2,632	56%
100-100-190-0000-5270	Books			\$100	\$100	0%
100-100-190-0000-5290	Miscellaneous Expenses			\$500	\$500	0%
100-100-190-0000-5294	Commission Expenses			\$500	\$500	0%
TOTAL PORT COMMISSION SUPPORT		\$4,777	\$25,315	\$53,530	\$28,215	47%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

OPERATIONS DEPT.

Salaries - Regular	\$71,028	\$425,071	\$798,363	\$373,292	53%
Salaries - Overtime	\$1,329	\$13,896	\$16,500	\$2,604	84%
Wages - Part Time/Temporary	\$13,612	\$92,743	\$206,500	\$113,757	45%
Salaries - Vacation Pay	\$0	\$1,484	\$2,000	\$516	74%
Salaries - Holdiay Pay	\$2,670	\$5,344	\$6,000	\$656	89%
Salaries - Sick Pay	\$366	\$2,480	\$1,000	(\$1,480)	248%
Salaries - Call Back	\$323	\$3,295	\$4,350	\$1,055	76%
Salaries - Call Ready	\$1,749	\$10,495	\$19,500	\$9,005	54%
Salaries - Night Differential	\$226	\$1,650	\$3,500	\$1,850	47%
Unemployment Insurance (SUI)	\$211	\$1,300	\$12,804	\$11,504	10%
FICA Medicare/Social Security	\$7,022	\$42,856	\$76,939	\$34,083	56%
Uniform Allowance	\$0	\$2,850	\$6,500	\$3,650	44%
Workers' Compensation	\$2,561	\$17,435	\$44,950	\$27,515	39%
CalPERS Employer Share	\$7,796	\$44,779	\$96,870	\$52,091	46%
CalPERS Unfunded Accrued Liability	\$11,059	\$60,336	\$126,681	\$66,345	48%
Health Insurance	\$14,482	\$82,313	\$160,605	\$78,292	51%
Dental Insurance	\$1,134	\$6,048	\$11,888	\$5,840	51%
Long Term Disability/Life/AD&D	\$0	\$2,243	\$4,651	\$2,408	48%
Retiree Medical Contribution	\$0	\$0	\$10,000	\$10,000	0%
Advertising	\$0	\$0	\$525	\$525	0%
Hazmat Supplies	\$0	\$311	\$1,000	\$689	31%
Safety Supplies	\$0	\$1,809	\$3,000	\$1,191	60%
Supplies	\$709	\$11,443	\$24,950	\$13,507	46%
Tools	\$0	\$843	\$2,200	\$1,357	38%
Harbor Patrol Supplies	\$0	\$409	\$3,500	\$3,091	12%
HBI Maintenance	\$0	\$388	\$5,000	\$4,612	8%
Almar Maintenance	\$6	\$2,734	\$13,300	\$10,566	21%
Fuel - Travelift	\$95	\$1,034	\$2,100	\$1,066	49%
Boat Fuel - HBI	\$759	\$4,241	\$8,900	\$4,659	48%
Boat Fuel - Free Ride	\$0	\$290	\$1,000	\$710	29%
Vehicle & Equipment Fuel	\$0	\$4,709	\$9,500	\$4,791	50%
Harbor Patrol Training	\$356	\$7,239	\$22,000	\$14,761	33%
Harbor Patrol Misc. Expense	\$0	\$6,049	\$10,000	\$3,951	60%
Boatyard Training	\$0	\$171	\$700	\$529	24%
Misc. Employee Training	\$618	\$1,018	\$2,300	\$1,282	44%
Background Investigations	\$0	\$2,150	\$1,500	(\$650)	143%
Fuel Dock Gasoline	\$20,452	\$177,537	\$175,000	(\$2,537)	101%
Fuel Dock Diesel	\$20,870	\$190,004	\$240,000	\$49,996	79%
Fuel Dock Equipment & Supplies	\$0	\$0	\$1,000	\$1,000	0%
Underground Storage Tank Maintenance	\$75	\$2,469	\$2,500	\$31	99%
Rent & Leases	\$0	\$3,000	\$10,000	\$7,000	30%
Equiment Rental	\$0	\$0	\$1,000	\$1,000	0%
Insurance Premiums	\$1,159	\$8,022	\$21,398	\$13,376	37%
Software	\$0	\$0	\$1,000	\$1,000	0%
Permit Fees	\$0	\$3,713	\$6,300	\$2,587	59%
Booking Fees	\$0	\$0	\$2,000	\$2,000	0%
Bad Debt Expense	\$0	\$0	\$15,000	\$15,000	0%
Lien Sale Expense	\$0	\$730	\$2,500	\$1,770	29%
Credit Card Fees	\$4,169	\$22,433	\$34,500	\$12,067	65%
Uniform Cleaning/Laundry	\$0	\$82	\$900	\$818	9%
Hazmat Disposal	\$0	\$0	\$5,000	\$5,000	0%
Contract Services	\$0	\$27,598	\$32,500	\$4,902	85%
Engineering Services	\$0	\$7	\$500	\$493	1%
Other Services	\$4,726	\$24,739	\$83,000	\$58,261	30%
Software License & Application	\$770	\$770	\$3,500	\$2,730	22%
Mileage Reimbursement	\$36	\$1,182	\$2,300	\$1,118	51%
Meetings & Seminars	\$344	\$344	\$300	(\$44)	115%
Boatyard Gas & Electricity	\$0	\$7,102	\$18,000	\$10,898	39%
Boatyard Water, Sewer, Garbage	\$379	\$2,502	\$4,100	\$1,598	61%
Boatyard Telephone & Alarms	\$126	\$901	\$2,000	\$1,099	45%
Sanitary District Charges	\$0	\$0	\$1,000	\$1,000	0%
Miscellaneous Professional Services	\$0	\$320	\$3,000	\$2,680	11%
Fueling Equipment R&M	\$0	\$877	\$2,500	\$1,623	35%
Water Taxi Maintenance	\$0	\$114	\$3,500	\$3,386	3%
Signage	\$0	\$166	\$2,000	\$1,834	8%
Parking Meters R&M	\$0	\$1,490	\$1,100	(\$390)	136%
Vehicle Maintenance	\$357	\$1,399	\$10,000	\$8,601	14%
Boatyard Cost of Goods Sold	\$2,253	\$5,773	\$10,000	\$4,227	58%
Boatyard Filtration System R&M	\$0	\$0	\$3,000	\$3,000	0%
Boatyard Filtration Supplies	\$0	\$0	\$1,500	\$1,500	0%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

Office Equipment R&M	\$0	\$205	\$200	(\$5)	102%
Equipment/Equipment R&M	(\$8,644)	\$14,291	\$12,000	(\$2,291)	119%
Communications Maintenance	\$0	\$0	\$2,000	\$2,000	0%
Misc. Expenses	\$156	\$2,004	\$4,500	\$2,496	45%
Capitalized Equip. Transfer to 1100	\$0	\$0	\$133,000	\$133,000	0%
TOTAL OPERATIONS DEPT.	\$185,338	\$1,361,225	\$2,441,674	\$1,080,449	56%

HARBOR PATROL (210)

100-200-210-0000-5000	Salaries - Regular	\$28,545	\$165,302	\$300,907	\$135,605	55%
100-200-210-0000-5005	Salaries - Overtime	\$1,133	\$11,794	\$10,000	(\$1,794)	118%
100-200-210-0000-5010	Wages - Part Time/Temporary	\$1,211	\$2,988	\$16,000	\$13,012	19%
100-200-210-0000-5020	Salaries - Vacation Pay	\$0	\$1,484	\$2,000	\$516	74%
100-200-210-0000-5025	Salaries - Holiday Pay	\$2,670	\$5,100	\$5,000	(\$100)	102%
100-200-210-0000-5030	Salaries - Sick Pay	\$0	\$1,827		(\$1,827)	0%
100-200-210-0000-5040	Salaries - Call Back	\$0	\$1,043	\$1,500	\$457	70%
100-200-210-0000-5045	Salaries - Call Ready	\$200	\$1,086	\$3,500	\$2,414	31%
100-200-210-0000-5050	Salaries - Night Differential	\$223	\$1,647	\$3,500	\$1,853	47%
100-200-210-0000-5055	Unemployment Insurance (SUI)	\$61	(\$50)	\$3,040	\$3,090	(2%)
100-200-210-0000-5060	FICA Medicare/Social Security	\$2,607	\$14,745	\$23,500	\$8,755	63%
100-200-210-0000-5100	Uniform Allowance	\$0	\$2,850	\$6,500	\$3,650	44%
100-200-210-0000-5105	Workers' Compensation	\$957	\$6,515	\$16,797	\$10,282	39%
100-200-210-0000-5110	CalPERS Employer Share	\$3,015	\$17,318	\$37,464	\$20,146	46%
100-200-210-0000-5112	CalPERS Unfunded Liability	\$4,277	\$23,335	\$48,993	\$25,658	48%
100-200-210-0000-5115	Health Insurance	\$5,326	\$30,174	\$62,737	\$32,563	48%
100-200-210-0000-5120	Dental Insurance	\$424	\$2,260	\$4,442	\$2,182	51%
100-200-210-0000-5125	Long Term Disability/Life/AD&D	\$0	\$838	\$1,738	\$900	48%
100-200-210-0000-5140	Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
100-200-210-0000-5217	Supplies	\$27	\$1,114	\$2,500	\$1,386	45%
100-200-210-0000-5218	Tools			\$1,000	\$1,000	0%
100-200-210-0000-5220	Harbor Patrol Supplies	\$0	\$409	\$3,500	\$3,091	12%
100-200-210-0000-5224	Almar Maintenance	\$6	\$191	\$2,500	\$2,309	8%
100-200-210-0000-5235	Vehicle & Equipment Fuel	\$0	\$3,860	\$7,000	\$3,140	55%
100-200-210-0000-5236	Harbor Patrol Training	\$356	\$7,163	\$12,000	\$4,837	60%
100-200-210-0000-5238	Harbor Patrol Misc. Expense	\$0	\$5,923	\$9,000	\$3,077	66%
100-200-210-0000-5244	Background Investigations	\$0	\$2,150	\$1,500	(\$650)	143%
100-200-210-0000-5262	Insurance Premiums	\$157	\$2,013	\$3,600	\$1,587	56%
100-200-210-0000-5278	Booking Fees			\$2,000	\$2,000	0%
100-200-210-0000-5415	Miscellaneous Professional Services	\$0	\$320	\$3,000	\$2,680	11%
100-200-210-0000-5425	Contract Services	\$0	\$4,860		(\$4,860)	0%
100-200-210-0000-5450	Other Services	\$4,726	\$18,294	\$56,000	\$37,706	33%
100-200-210-0000-5500	Mileage Reimbursement	\$36	\$995	\$1,500	\$505	66%
100-200-210-0000-5510	Meetings & Seminars	\$344	\$344	\$300	(\$44)	115%
100-200-210-0000-5665	Vehicle Maintenance	\$282	\$836	\$5,000	\$4,164	17%
100-200-210-0000-5692	Communications Maintenance			\$2,000	\$2,000	0%
100-200-210-0000-6100	Capitalized Equip. Xfer 1100			\$50,000	\$50,000	0%
TOTAL HARBOR PATROL		\$56,583	\$338,727	\$665,018	\$326,291	51%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

MARINA MANAGEMENT (220)

100-200-220-0000-5000	Salaries - Regular	\$23,548	\$139,659	\$264,503	\$124,844	53%
100-200-220-0000-5005	Salaries - Overtime	\$134	\$262	\$1,000	\$738	26%
100-200-220-0000-5010	Wages - Part Time/Temporary	\$1,837	\$7,842	\$25,000	\$17,158	31%
100-200-220-0000-5025	Salaries - Holiday Pay	\$0	\$128	\$1,000	\$872	13%
100-200-220-0000-5040	Salaries - Call Back			\$350	\$350	0%
100-200-220-0000-5055	Unemployment Insurance (SUI)	\$0	(\$218)	\$2,572	\$2,790	(8%)
100-200-220-0000-5060	FICA Medicare/Social Security	\$1,981	\$11,475	\$20,000	\$8,525	57%
100-200-220-0000-5105	Workers' Compensation	\$547	\$3,721	\$9,593	\$5,872	39%
100-200-220-0000-5110	CalPERS Employer Share	\$2,988	\$17,164	\$37,132	\$19,968	46%
100-200-220-0000-5112	CalPERS Unfunded Liability	\$4,239	\$23,128	\$48,558	\$25,430	48%
100-200-220-0000-5115	Health Insurance	\$3,364	\$19,151	\$32,633	\$13,482	59%
100-200-220-0000-5120	Dental Insurance	\$242	\$1,291	\$2,537	\$1,246	51%
100-200-220-0000-5125	Long Term Disability/Life/AD&D	\$0	\$479	\$992	\$513	48%
100-200-220-0000-5140	Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
100-200-220-0000-5217	Supplies	\$0	\$901	\$2,500	\$1,599	36%
100-200-220-0000-5222	HBI Maintenance	\$0	\$388	\$2,500	\$2,112	16%
100-200-220-0000-5224	Almar Maintenance	\$0	\$945	\$5,000	\$4,055	19%
100-200-220-0000-5262	Insurance Premiums	\$219	\$1,312	\$6,798	\$5,486	19%
100-200-220-0000-5279	Bad Debt Expense			\$15,000	\$15,000	0%
100-200-220-0000-5280	Lien Sale Expenses	\$0	\$730	\$2,500	\$1,770	29%
100-200-220-0000-5465	Software License & Application	\$770	\$770	\$1,000	\$230	77%
100-200-220-0000-5500	Mileage Reimbursement	\$0	\$187	\$600	\$413	31%
TOTAL MARINA MANAGEMENT		\$39,868	\$229,314	\$486,768	\$257,454	47%

RESCUE SERVICES (230)

100-200-230-0000-5000	Salaries - Regular	\$2,184	\$14,778	\$17,812	\$3,034	83%
100-200-230-0000-5005	Salaries - Overtime	\$6	\$384	\$1,000	\$616	38%
100-200-230-0000-5010	Wages - Part Time/Temporary			\$1,000	\$1,000	0%
100-200-230-0000-5040	Salaries - Call Back	\$323	\$2,252	\$2,000	(\$252)	113%
100-200-230-0000-5045	Salaries - Call Ready	\$1,548	\$9,409	\$16,000	\$6,591	59%
100-200-230-0000-5050	Salaries - Night Differential	\$3	\$3		(\$3)	0%
100-200-230-0000-5055	Unemployment Insurance (SUI)	\$0	(\$5)	\$200	\$205	(2%)
100-200-230-0000-5060	FICA Medicare/Social Security	\$310	\$2,049	\$3,354	\$1,305	61%
100-200-230-0000-5105	Workers' Compensation	\$114	\$774	\$1,995	\$1,221	39%
100-200-230-0000-5110	CalPERS Employer Share	\$182	\$1,047	\$2,265	\$1,218	46%
100-200-230-0000-5112	CalPERS Unfunded Liability	\$259	\$1,411	\$2,962	\$1,551	48%
100-200-230-0000-5115	Health Insurance	\$611	\$3,490	\$6,787	\$3,297	51%
100-200-230-0000-5120	Dental Insurance	\$50	\$268	\$528	\$260	51%
100-200-230-0000-5125	Long Term Disability/Life/AD&D	\$0	\$100	\$206	\$106	48%
100-200-230-0000-5212	Safety Supplies	\$0	\$1,544	\$2,000	\$456	77%
100-200-230-0000-5217	Supplies	\$0	\$782	\$250	(\$532)	313%
100-200-230-0000-5222	HBI Maintenance			\$2,500	\$2,500	0%
100-200-230-0000-5224	Almar Maintenance	\$0	\$1,599	\$5,800	\$4,201	28%
100-200-230-0000-5226	Boat Fuel - Almar	\$759	\$4,241	\$8,900	\$4,659	48%
100-200-230-0000-5228	Boat Fuel - HBI	\$0	\$108		(\$108)	0%
100-200-230-0000-5236	Harbor Patrol Training	\$0	\$75	\$10,000	\$9,925	1%
100-200-230-0000-5238	Harbor Patrol Miscellaneous Expense	\$0	\$126	\$1,000	\$874	13%
100-200-230-0000-5262	Insurance Premiums	\$314	\$1,887	\$4,500	\$2,613	42%
100-200-230-0000-5425	Contract Services	\$0	\$19,008	\$20,000	\$992	95%
TOTAL RESCUE SERVICES		\$6,664	\$65,329	\$111,059	\$45,730	59%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

PARKING SERVICES (240)

100-200-240-0000-5000	Salaries - Regular	\$6,851	\$40,979	\$89,195	\$48,216	46%
100-200-240-0000-5005	Salaries - Overtime	\$0	\$807	\$1,000	\$193	81%
100-200-240-0000-5010	Wages - Part Time/Temporary	\$8,864	\$70,922	\$124,000	\$53,078	57%
100-200-240-0000-5025	Salaries - Holiday Pay	\$0	\$116		(\$116)	0%
100-200-240-0000-5030	Salaries - Sick Pay	\$138	\$425	\$1,000	\$575	43%
100-200-240-0000-5055	Unemployment Insurance (SUI)	\$130	\$1,590	\$5,344	\$3,754	30%
100-200-240-0000-5060	FICA Medicare/Social Security	\$1,232	\$8,858	\$18,392	\$9,534	48%
100-200-240-0000-5105	Workers' Compensation	\$230	\$1,566	\$4,037	\$2,471	39%
100-200-240-0000-5110	CalPERS Employer Share	\$739	\$4,245	\$9,184	\$4,939	46%
100-200-240-0000-5112	CalPERS Unfunded Liability	\$1,048	\$5,720	\$12,011	\$6,291	48%
100-200-240-0000-5115	Health Insurance	\$1,515	\$8,677	\$14,432	\$5,755	60%
100-200-240-0000-5120	Dental Insurance	\$102	\$543	\$1,068	\$525	51%
100-200-240-0000-5125	Long Term Disability/Life/AD&D	\$0	\$201	\$418	\$217	48%
100-200-240-0000-5212	Safety Supplies			\$500	\$500	0%
100-200-240-0000-5217	Supplies	\$0	\$5,365	\$12,000	\$6,635	45%
100-200-240-0000-5218	Tools			\$100	\$100	0%
100-200-240-0000-5231	Boat Fuel - Free Ride	\$0	\$290	\$1,000	\$710	29%
100-200-240-0000-5235	Vehicle & Equipment Fuel	\$0	\$848	\$2,500	\$1,652	34%
100-200-240-0000-5240	Miscellaneous Employee Training	\$0	\$400	\$1,800	\$1,400	22%
100-200-240-0000-5254	Rent & Leases	\$0	\$3,000	\$10,000	\$7,000	30%
100-200-240-0000-5272	Software			\$1,000	\$1,000	0%
100-200-240-0000-5284	Credit Card Fees	\$2,915	\$14,641	\$23,000	\$8,359	64%
100-200-240-0000-5292	Uniform Cleaning/Laundry			\$500	\$500	0%
100-200-240-0000-5425	Contract Services	\$0	\$3,628	\$12,000	\$8,372	30%
100-200-240-0000-5450	Other Services	\$0	\$6,267	\$25,000	\$18,733	25%
100-200-240-0000-5465	Software License & Application			\$1,000	\$1,000	0%
100-200-240-0000-5610	Water Taxi Maintenance	\$0	\$114	\$3,500	\$3,386	3%
100-200-240-0000-5625	Signage	\$0	\$166	\$1,000	\$834	17%
100-200-240-0000-5635	Parking Meters R&M	\$0	\$1,490	\$1,100	(\$390)	136%
100-200-240-0000-5665	Vehicle Maintenance	\$74	\$563	\$5,000	\$4,437	11%
100-200-240-0000-5698	Equipment/Equipment R&M	\$0	\$1,656	\$6,000	\$4,344	28%
100-200-240-0000-6100	Capitalized Equip Xfer to 1100			\$75,000	\$75,000	0%
TOTAL PARKING SERVICES		\$23,839	\$183,079	\$387,081	\$204,002	47%

EVENTS (250)

100-200-250-0000-5000	Salaries - Regular	\$244	\$3,807	\$13,946	\$10,139	27%
100-200-250-0000-5005	Salaries - Overtime			\$2,000	\$2,000	0%
100-200-250-0000-5010	Wages - Part Time/Temporary			\$5,000	\$5,000	0%
100-200-250-0000-5055	Unemployment Insurance (SUI)	\$0	(\$1)	\$240	\$241	(0%)
100-200-250-0000-5060	FICA Medicare/Social Security	\$19	\$297	\$660	\$363	45%
100-200-250-0000-5105	Workers' Compensation	\$91	\$621	\$1,601	\$980	39%
100-200-250-0000-5110	CalPERS Employer Share	\$186	\$1,066	\$2,306	\$1,240	46%
100-200-250-0000-5112	CalPERS Unfunded Liability	\$263	\$1,437	\$3,016	\$1,579	48%
100-200-250-0000-5115	Health Insurance	\$498	\$2,904	\$5,445	\$2,541	53%
100-200-250-0000-5120	Dental Insurance	\$40	\$215	\$423	\$208	51%
100-200-250-0000-5125	Long Term Disability/Life/AD&D	\$0	\$80	\$166	\$86	48%
100-200-250-0000-5217	Supplies	\$0	\$107	\$4,200	\$4,093	3%
100-200-250-0000-5256	Equipment Rental	\$0	\$151	\$1,000	\$849	15%
100-200-250-0000-5290	Misc. Expenses	\$55	\$1,634	\$2,000	\$366	82%
100-200-250-0000-5625	Signage			\$500	\$500	0%
TOTAL EVENTS		\$1,397	\$12,318	\$42,503	\$30,185	29%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

FUEL SERVICES (280)						
100-200-280-0000-5000	Salaries - Regular	\$66	\$1,275	\$2,180	\$905	58%
100-200-280-0000-5005	Salaries - Overtime	\$0	\$80		(\$80)	0%
100-200-280-0000-5010	Wages - Part Time/Temporary	\$1,300	\$7,471	\$20,000	\$12,529	37%
100-200-280-0000-5030	Salaries - Sick Pay	\$228	\$228		(\$228)	0%
100-200-280-0000-5055	Unemployment Insurance (SUI)	\$0	\$30	\$106	\$76	28%
100-200-280-0000-5060	FICA Medicare/Social Security	\$122	\$694	\$663	(\$31)	105%
100-200-280-0000-5105	Workers' Compensation	\$22	\$153	\$394	\$241	39%
100-200-280-0000-5110	CalPERS Employer Share	\$80	\$461	\$997	\$536	46%
100-200-280-0000-5112	CalPERS Unfunded Liability	\$114	\$621	\$1,304	\$683	48%
100-200-280-0000-5115	Health Insurance	\$126	\$714	\$1,342	\$628	53%
100-200-280-0000-5120	Dental Insurance	\$10	\$53	\$104	\$51	51%
100-200-280-0000-5125	Long Term Disability/Life/AD&D	\$0	\$20	\$41	\$21	48%
100-200-280-0000-5217	Supplies			\$1,000	\$1,000	0%
100-200-280-0000-5218	Tools			\$100	\$100	0%
100-200-280-0000-5245	Fuel Dock Gasoline	\$20,452	\$177,537	\$175,000	(\$2,537)	101%
100-200-280-0000-5246	Fuel Dock Diesel	\$20,870	\$190,004	\$240,000	\$49,996	79%
100-200-280-0000-5250	Fuel Dock Equipment & Supplies			\$1,000	\$1,000	0%
100-200-280-0000-5252	Underground Storage Tank Maintenance	\$75	\$2,469	\$2,500	\$31	99%
100-200-280-0000-5262	Insurance Premiums	\$154	\$924	\$4,000	\$3,076	23%
100-200-280-0000-5276	Permit Fees	\$0	\$3,294	\$3,800	\$506	87%
100-200-280-0000-5284	Credit Card Fees	\$788	\$4,857	\$7,000	\$2,143	69%
100-200-280-0000-5465	Software License & Application			\$1,000	\$1,000	0%
100-200-280-0000-5607	Fueling Equipment R&M	\$0	\$877	\$2,500	\$1,623	35%
	TOTAL FUEL SERVICES	\$44,408	\$391,762	\$465,031	\$73,269	84%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

FACILITIES DEPARTMENT

Salaries - Regular	\$74,784	\$405,253	\$844,767	\$439,514	48%
Salaries - Overtime	\$516	\$18,416	\$32,000	\$13,584	58%
Wages - Part Time/Temporary	\$7,899	\$33,336	\$83,500	\$50,164	40%
Salaries - Comp. Time	\$0	\$1,499	\$500	(\$999)	300%
Salaries - Vacation	\$0	\$7,182	\$2,500	(\$4,682)	287%
Salaries - Holiday Pay	\$0	\$1,424	\$1,000	(\$424)	142%
Salaries - Sick Pay	\$0	\$697	\$250	(\$447)	279%
Salaries - Call Back	\$92	\$1,411	\$1,950	\$539	72%
Salaries - Call Ready	\$696	\$5,294	\$10,000	\$4,706	53%
Unemployment Insurance (SUI)	\$37	\$347	\$14,488	\$14,141	2%
FICA Medicare/Social Security	\$6,380	\$36,528	\$88,223	\$51,695	41%
Workers' Compensation	\$3,036	\$20,670	\$53,291	\$32,621	39%
CalPERS Employer Share	\$5,452	\$31,312	\$67,739	\$36,427	46%
CalPERS Unfunded Accrued Liability	\$7,733	\$42,191	\$88,585	\$46,394	48%
Health Insurance	\$16,539	\$94,535	\$191,075	\$96,540	49%
Dental Insurance	\$1,345	\$7,170	\$14,093	\$6,923	51%
Long Term Disability/Life/AD&D	\$0	\$2,659	\$5,512	\$2,853	48%
Retiree Medical Contribution	\$0	\$0	\$20,000	\$20,000	0%
Hazmat Supplies	\$0	\$600	\$10,500	\$9,900	6%
Safety Supplies	\$0	\$3,270	\$13,450	\$10,180	24%
Office Supplies	\$0	\$0	\$200	\$200	0%
Janitorial Supplies	\$0	\$12,593	\$30,000	\$17,407	42%
Supplies	\$23	\$10,482	\$20,000	\$9,518	52%
Tools	\$45	\$5,663	\$28,000	\$22,337	20%
Boat Fuel - Odd Job	\$22	\$77	\$750	\$673	10%
Boat Fuel - Dredge Skiff	\$27	\$123	\$1,200	\$1,077	10%
Boat Fuel - Seabright	\$0	\$29,405	\$125,000	\$95,595	24%
Boat Fuel - Dauntless	\$214	\$3,988	\$9,500	\$5,512	42%
Vehicle & Equipment Fuel	\$0	\$10,228	\$19,500	\$9,272	52%
Misc. Employee Training	\$927	\$7,201	\$25,000	\$17,799	29%
Equipment Rental	\$0	\$28,376	\$37,000	\$8,624	77%
Insurance Premiums	\$11,369	\$70,677	\$169,530	\$98,853	42%
Memberships, Dues, Subscriptions	\$0	\$0	\$1,250	\$1,250	0%
Meetings & Training	\$0	\$212	\$4,500	\$4,288	5%
Books	\$0	\$0	\$100	\$100	0%
Permit Fees	\$0	\$1,192	\$13,500	\$12,308	9%
Miscellaneous Expenses	\$0	\$3,427	\$6,350	\$2,923	54%
Uniform Cleaning/Laundry	\$288	\$3,704	\$14,000	\$10,296	26%
Interest Expense	\$0	\$252,308	\$494,290	\$241,982	51%
Gas & Electricity	\$10,067	\$94,832	\$205,000	\$110,168	46%
Water, Sewer, Garbage	\$6,252	\$56,790	\$117,000	\$60,210	49%
Hazmat Disposal	\$360	\$8,737	\$13,500	\$4,763	65%
Landscaping	\$0	\$2,792	\$10,000	\$7,208	28%
Custodial Contract	\$35	\$25,396	\$65,000	\$39,604	39%
Freight	\$0	\$339	\$2,500	\$2,161	14%
Legal Consultation	\$0	\$0	\$1,000	\$1,000	0%
Contract Services	\$2,250	\$11,841	\$10,000	(\$1,841)	118%
Engineering Services	\$0	\$2,445	\$28,000	\$25,555	9%
Environmental Services	\$0	\$19,646	\$10,000	(\$9,646)	196%
Dredge Consulting	\$0	\$21,707	\$25,000	\$3,293	87%
Other Services	\$0	\$10,659	\$11,500	\$841	93%
Mileage Reimbursement	\$0	\$749	\$2,200	\$1,451	34%
Building Repairs & Maintenance	\$28	\$11,365	\$40,000	\$28,635	28%
Piers & Marine Structures R&M	\$0	\$2,671	\$12,000	\$9,329	22%
Maintenance Workboat R&M	\$0	\$0	\$1,000	\$1,000	0%
Paint & Supplies	\$0	\$1,230	\$15,500	\$14,270	8%
Signage	\$0	\$1,333	\$7,000	\$5,667	19%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

Parking Lot R&M	\$88	\$562	\$15,000	\$14,438	4%
Street Maintenance	\$0	\$245	\$2,500	\$2,255	10%
Storm Drain Maintenance	\$0	\$15	\$5,000	\$4,985	0%
Street Light Maintenance	\$0	\$1,070	\$1,000	(\$70)	107%
Vehicle Maintenance	\$758	\$4,367	\$21,500	\$17,133	20%
Utility Maintenance	\$0	\$9,374	\$15,000	\$5,626	62%
Other Repairs & Maintenance	\$0	\$1,618	\$4,700	\$3,082	34%
Ice Machine R&M	\$0	\$0	\$3,500	\$3,500	0%
Safety Equipment R&M	\$0	\$0	\$1,500	\$1,500	0%
Permits & Inspections	\$0	\$714	\$2,500	\$1,786	29%
Equipment/Equipment R&M	\$981	\$11,633	\$94,500	\$82,867	12%
Maint/Lube Inner Harbor Dredge	\$206	\$24,030	\$15,000	(\$9,030)	160%
Maint/Lube Seabright	\$3,201	\$74,718	\$90,000	\$15,282	83%
Maint/Lube Ancilliary Equipment	\$1,379	\$5,376	\$20,000	\$14,624	27%
Maint/Lube Dauntless	\$1,110	\$12,928	\$30,000	\$17,072	43%
Dredge Paint/Coatings	\$0	\$6,516	\$10,000	\$3,484	65%
Booster Pump R&M	\$0	\$0	\$15,000	\$15,000	0%
Welding Supplies	\$52	\$4,075	\$16,000	\$11,925	25%
Fish Removal Expenses	\$0	\$163	\$2,500	\$2,337	7%
Waste Oil Disposal/Recycle	\$324	\$3,850	\$10,000	\$6,150	39%
Capitalized Equip. Transfer to 1100	\$13,406	\$109,464	\$205,956	\$96,492	53%
Principal Debt Payments	\$0	\$619,291	\$1,240,105	\$620,814	50%
January 2017 Winter Storms - Salaries	\$0	\$8,296	\$0	(\$8,296)	0%
TOTAL FACILITIES DEPARTMENT	\$164,514	\$1,595,529	\$3,494,493	\$1,898,964	46%

DOCKS, PIERS, MARINE STRUCTURES (310)

100-300-310-0000-5000 Salaries - Regular	\$2,573	\$17,979	\$44,099	\$26,120	41%
100-300-310-0000-5005 Salaries - Overtime			\$2,000	\$2,000	0%
100-300-310-0000-5010 Wages - Part Time/Temporary	\$118	\$118	\$4,000	\$3,882	3%
100-300-310-0000-5055 Unemployment Insurance (SUI)	\$0	\$45	\$690	\$645	6%
100-300-310-0000-5060 FICA Medicare/Social Security	\$208	\$1,293	\$4,000	\$2,707	32%
100-300-310-0000-5105 Workers' Compensation	\$147	\$999	\$2,575	\$1,576	39%
100-300-310-0000-5110 CalPERS Employer Share	\$477	\$2,737	\$5,922	\$3,185	46%
100-300-310-0000-5112 CalPERS Unfunded Liability	\$676	\$3,689	\$7,744	\$4,056	48%
100-300-310-0000-5115 Health Insurance	\$828	\$4,653	\$9,460	\$4,807	49%
100-300-310-0000-5120 Dental Insurance	\$65	\$346	\$681	\$335	51%
100-300-310-0000-5125 Long Term Disability/Life/AD&D	\$0	\$128	\$266	\$138	48%
100-300-310-0000-5140 Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
100-300-310-0000-5212 Safety Supplies	\$0	\$321	\$1,000	\$679	32%
100-300-310-0000-5214 Office Supplies			\$200	\$200	0%
100-300-310-0000-5217 Supplies	\$0	\$224	\$1,000	\$776	22%
100-300-310-0000-5218 Tools	\$0	\$862	\$8,000	\$7,138	11%
100-300-310-0000-5230 Boat Fuel - Odd Job	\$22	\$77	\$750	\$673	10%
100-300-310-0000-5235 Vehicle & Equipment Fuel	\$0	\$1,343	\$1,000	(\$343)	134%
100-300-310-0000-5240 Miscellaneous Employee Training			\$5,000	\$5,000	0%
100-300-310-0000-5256 Equipment Rental			\$2,000	\$2,000	0%
100-300-310-0000-5262 Insurance Premiums	\$9,630	\$57,585	\$130,000	\$72,415	44%
100-300-310-0000-5268 Meetings & Training			\$1,500	\$1,500	0%
100-300-310-0000-5290 Miscellaneous Expenses	\$0	\$152	\$750	\$598	20%
100-300-310-0000-5292 Uniform Cleaning/Laundry	\$48	\$268	\$300	\$32	89%
100-300-310-0000-5430 Engineering Services			\$3,000	\$3,000	0%
100-300-310-0000-5500 Mileage Reimbursement	\$0	\$348	\$500	\$152	70%
100-300-310-0000-5605 Piers & Marine Structures R&M	\$0	\$2,671	\$12,000	\$9,329	22%
100-300-310-0000-5615 Maintenance Work Boat R&M			\$1,000	\$1,000	0%
100-300-310-0000-5620 Paint & Supplies	\$0	\$96	\$3,000	\$2,904	3%
100-300-310-0000-5625 Signage	\$0	\$1,005	\$1,000	(\$5)	101%
100-300-310-0000-5665 Vehicle Maintenance	\$0	\$1,714	\$3,000	\$1,286	57%
100-300-310-0000-5698 Equipment/Equipment R&M	\$0	\$753	\$4,500	\$3,747	17%
100-300-310-0000-5725 Welding Supplies			\$2,500	\$2,500	0%
100-300-310-0000-6100 Capitalized Equip Xfer to 1100			\$10,000	\$10,000	0%
100-300-310-0000-5672 Other Repairs & Maintenance	\$0	\$210		(\$210)	0%
TOTAL DOCKS, PIERS, MARINE STRUCTURES	\$14,790	\$99,618	\$268,437	\$168,819	37%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

UTILITIES (320)						
100-300-320-0000-5000	Salaries - Regular	\$1,144	\$10,989	\$54,097	\$43,108	20%
100-300-320-0000-5005	Salaries - Overtime			\$1,000	\$1,000	0%
100-300-320-0000-5010	Wages - Part Time/Temporary			\$1,000	\$1,000	0%
100-300-320-0000-5055	Unemployment Insurance (SUI)			\$921	\$921	0%
100-300-320-0000-5060	FICA Medicare/Social Security	\$88	\$830	\$5,500	\$4,670	15%
100-300-320-0000-5105	Workers' Compensation	\$196	\$1,332	\$3,434	\$2,102	39%
100-300-320-0000-5110	CalPERS Employer Share	\$413	\$2,372	\$5,132	\$2,760	46%
100-300-320-0000-5112	CalPERS Unfunded Liability	\$586	\$3,197	\$6,712	\$3,515	48%
100-300-320-0000-5115	Health Insurance	\$1,075	\$5,929	\$11,680	\$5,751	51%
100-300-320-0000-5120	Dental Insurance	\$87	\$462	\$908	\$446	51%
100-300-320-0000-5125	Long Term Disability/Life/AD&D	\$0	\$171	\$355	\$184	48%
100-300-320-0000-5140	Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
100-300-320-0000-5212	Safety Supplies	\$0	\$491	\$3,000	\$2,509	16%
100-300-320-0000-5217	Supplies	\$0	\$327	\$1,000	\$673	33%
100-300-320-0000-5240	Miscellaneous Employee Training			\$5,000	\$5,000	0%
100-300-320-0000-5290	Miscellaneous Expenses			\$200	\$200	0%
100-300-320-0000-5600	Building Repairs & Maintenance	\$0	\$2,002		(\$2,002)	0%
100-300-320-0000-5650	Storm Drain Maintenance	\$0	\$15	\$5,000	\$4,985	0%
100-300-320-0000-5665	Vehicle Maintenance	\$0	\$15	\$3,000	\$2,985	0%
100-300-320-0000-5670	Utility Maintenance	\$0	\$9,374	\$15,000	\$5,626	62%
100-300-320-0000-5698	Equipment/Equipment R&M	\$538	\$1,365	\$5,000	\$3,635	27%
	TOTAL UTILITIES	\$4,126	\$38,871	\$132,939	\$94,068	29%

BUILDINGS (330)						
100-300-330-0000-5000	Salaries - Regular	\$5,439	\$18,529	\$47,984	\$29,455	39%
100-300-330-0000-5005	Salaries - Overtime	\$0	\$52	\$1,000	\$948	5%
100-300-330-0000-5010	Wages - Part Time/Temporary	\$207	\$1,539	\$5,000	\$3,461	31%
100-300-330-0000-5015	Salaries - Comp. Time	\$0	\$1,110		(\$1,110)	0%
100-300-330-0000-5020	Salaries - Vacation Pay	\$0	\$1,346		(\$1,346)	0%
100-300-330-0000-5040	Salaries - Call Back	\$0	\$303		(\$303)	0%
100-300-330-0000-5045	Salaries - Call Ready	\$0	\$1,549	\$5,000	\$3,451	31%
100-300-330-0000-5055	Unemployment Insurance (SUI)	\$0	(\$41)	\$921	\$962	(4%)
100-300-330-0000-5060	FICA Medicare/Social Security	\$412	\$2,128	\$5,773	\$3,645	37%
100-300-330-0000-5105	Workers' Compensation	\$196	\$1,332	\$3,434	\$2,102	39%
100-300-330-0000-5110	CalPERS Employer Share	\$365	\$2,094	\$4,530	\$2,436	46%
100-300-330-0000-5112	CalPERS Unfunded Liability	\$517	\$2,821	\$5,924	\$3,103	48%
100-300-330-0000-5115	Health Insurance	\$808	\$4,948	\$15,880	\$10,932	31%
100-300-330-0000-5120	Dental Insurance	\$87	\$462	\$908	\$446	51%
100-300-330-0000-5125	Long Term Disability/Life/AD&D	\$0	\$171	\$355	\$184	48%
100-300-330-0000-5212	Safety Supplies	\$0	\$45	\$750	\$705	6%
100-300-330-0000-5216	Janitorial Supplies	\$0	\$11,032	\$30,000	\$18,968	37%
100-300-330-0000-5217	Supplies	\$0	\$1,373	\$3,500	\$2,127	39%
100-300-330-0000-5218	Tools	\$45	\$664	\$5,000	\$4,336	13%
100-300-330-0000-5235	Vehicle & Equipment Fuel	\$0	\$671	\$2,500	\$1,829	27%
100-300-330-0000-5240	Miscellaneous Employee Training	\$927	\$2,998	\$2,500	(\$498)	120%
100-300-330-0000-5262	Insurance Premiums	\$1,138	\$8,800	\$16,000	\$7,200	55%
100-300-330-0000-5266	Memberships, Dues, Subscriptions			\$250	\$250	0%
100-300-330-0000-5268	Meetings & Training			\$1,000	\$1,000	0%
100-300-330-0000-5282	Bank Service Charges	\$0	\$25		(\$25)	0%
100-300-330-0000-5290	Miscellaneous Expenses	\$0	\$544	\$200	(\$344)	272%
100-300-330-0000-5292	Uniform Cleaning/Laundry	\$25	\$712	\$3,200	\$2,488	22%
100-300-330-0000-5305	Water, Sewer & Garbage	\$2,084	\$27,020	\$57,000	\$29,980	47%
100-300-330-0000-5308	Hazmat Disposal			\$3,500	\$3,500	0%
100-300-330-0000-5310	Telephone & Alarms	\$0	\$207		(\$207)	0%
100-300-330-0000-5412	Custodial Contract	\$35	\$25,396	\$65,000	\$39,604	39%
100-300-330-0000-5425	Contract Services	\$0	\$140		(\$140)	0%
100-300-330-0000-5430	Engineering Services			\$15,000	\$15,000	0%
100-300-330-0000-5450	Other Services	\$0	\$1,209	\$1,500	\$291	81%
100-300-330-0000-5600	Building Repairs & Maintenance	\$28	\$10,945	\$40,000	\$29,055	27%
100-300-330-0000-5620	Paint & Supplies	\$0	\$5	\$2,500	\$2,495	0%
100-300-330-0000-5625	Signage	\$0	\$127	\$1,000	\$873	13%
100-300-330-0000-5645	Street Maintenance			\$1,000	\$1,000	0%
100-300-330-0000-5660	Street Light Maintenance	\$0	\$1,070	\$1,000	(\$70)	107%
100-300-330-0000-5665	Vehicle Maintenance	\$0	\$66	\$3,000	\$2,934	2%
100-300-330-0000-5698	Equipment/Equipment R&M	\$391	\$957	\$5,000	\$4,043	19%
100-300-330-0000-5725	Welding Supplies	\$0	\$885	\$1,500	\$615	59%
	TOTAL BUILDINGS	\$12,704	\$133,233	\$358,609	\$225,376	37%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

GROUNDS (340)						
100-300-340-0000-5000	Salaries - Regular	\$20,493	\$111,376	\$165,779	\$54,403	67%
100-300-340-0000-5005	Salaries - Overtime	\$412	\$4,736	\$3,000	(\$1,736)	158%
100-300-340-0000-5010	Wages - Part Time/Temporary	\$4,657	\$21,865	\$58,500	\$36,635	37%
100-300-340-0000-5020	Salaries - Vacation Pay			\$1,500	\$1,500	0%
100-300-340-0000-5025	Salaries - Holiday Pay	\$0	\$122		(\$122)	0%
100-300-340-0000-5030	Salaries - Sick Pay			\$250	\$250	0%
100-300-340-0000-5040	Salaries - Call Back	\$92	\$1,108	\$1,450	\$342	76%
100-300-340-0000-5045	Salaries - Call Ready	\$696	\$3,745	\$5,000	\$1,255	75%
100-300-340-0000-5055	Unemployment Insurance (SUI)	\$0	(\$63)	\$3,950	\$4,013	(2%)
100-300-340-0000-5060	FICA Medicare/Social Security	\$2,001	\$10,914	\$24,000	\$13,086	45%
100-300-340-0000-5105	Workers' Compensation	\$839	\$5,714	\$14,732	\$9,018	39%
100-300-340-0000-5110	CalPERS Employer Share	\$1,388	\$7,972	\$17,246	\$9,274	46%
100-300-340-0000-5112	CalPERS Unfunded Liability	\$1,969	\$10,742	\$22,554	\$11,812	48%
100-300-340-0000-5115	Health Insurance	\$4,397	\$25,279	\$50,113	\$24,834	50%
100-300-340-0000-5120	Dental Insurance	\$372	\$1,982	\$3,896	\$1,914	51%
100-300-340-0000-5125	Long Term Disability/Life/AD&D	\$0	\$735	\$1,524	\$789	48%
100-300-340-0000-5140	Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
100-300-340-0000-5210	Hazmat Supplies	\$0	\$600	\$7,500	\$6,900	8%
100-300-340-0000-5212	Safety Supplies	\$0	\$917	\$3,200	\$2,283	29%
100-300-340-0000-5216	Janitorial Supplies	\$0	\$1,561		(\$1,561)	0%
100-300-340-0000-5217	Supplies	\$0	\$3,776	\$6,500	\$2,724	58%
100-300-340-0000-5218	Tools	\$0	\$1,356	\$5,000	\$3,644	27%
100-300-340-0000-5235	Vehicle & Equipment Fuel	\$0	\$2,120	\$7,500	\$5,380	28%
100-300-340-0000-5240	Miscellaneous Employee Training	\$0	\$61	\$2,500	\$2,439	2%
100-300-340-0000-5256	Equipment Rental	\$0	\$825	\$3,000	\$2,175	28%
100-300-340-0000-5266	Memberships, Dues, Subscriptions			\$500	\$500	0%
100-300-340-0000-5276	Permit Fees			\$2,500	\$2,500	0%
100-300-340-0000-5284	Credit Card Fees	\$0	\$202		(\$202)	0%
100-300-340-0000-5292	Uniform Cleaning/Laundry	\$48	\$1,039	\$4,000	\$2,961	26%
100-300-340-0000-5300	Gas & Electricity	\$9,262	\$87,245	\$185,000	\$97,755	47%
100-300-340-0000-5305	Water, Sewer & Garbage	\$4,168	\$29,770	\$60,000	\$30,230	50%
100-300-340-0000-5308	Hazmat Disposal	\$0	\$7,820	\$8,500	\$680	92%
100-300-340-0000-5405	Landscaping	\$0	\$2,792	\$10,000	\$7,208	28%
100-300-340-0000-5425	Contract Services	\$2,250	\$11,841	\$10,000	(\$1,841)	118%
100-300-340-0000-5500	Mileage Reimbursement	\$0	\$215	\$500	\$285	43%
100-300-340-0000-5600	Building Repairs & Maintenance	\$0	\$420		(\$420)	0%
100-300-340-0000-5620	Paint & Supplies	\$0	\$11	\$5,000	\$4,989	0%
100-300-340-0000-5625	Signage	\$0	\$201	\$5,000	\$4,799	4%
100-300-340-0000-5630	Parking Lot R&M	\$88	\$562	\$15,000	\$14,438	4%
100-300-340-0000-5645	Street Maintenance	\$0	\$245	\$2,500	\$2,255	10%
100-300-340-0000-5665	Vehicle Maintenance	\$758	\$1,663	\$5,000	\$3,337	33%
100-300-340-0000-5672	Other Repairs & Maintenance	\$0	\$1,312	\$3,500	\$2,188	37%
100-300-340-0000-5696	Permits & Inspections	\$0	\$714	\$2,500	\$1,786	29%
100-300-340-0000-5698	Equipment/Equipment R&M	\$0	\$518	\$10,000	\$9,482	5%
100-300-340-0000-5800	Fish Removal Expenses	\$0	\$163	\$2,500	\$2,337	7%
100-300-340-0000-5805	Waste Oil Disposal/Recycle	\$324	\$3,850	\$10,000	\$6,150	39%
100-300-340-0000-6100	Capitalized Equipment Xfer to 1100	\$0	\$48,906	\$50,000	\$1,094	98%
TOTAL GROUNDS		\$54,214	\$368,027	\$755,694	\$387,667	49%

AERATION (350)						
100-300-350-0000-5000	Salaries - Regular	\$1,447	\$5,017	\$16,568	\$11,551	30%
100-300-350-0000-5055	Unemployment Insurance (SUI)			\$236	\$236	0%
100-300-350-0000-5060	FICA Medicare/Social Security	\$70	\$348	\$1,482	\$1,134	23%
100-300-350-0000-5105	Workers' Compensation	\$50	\$342	\$882	\$540	39%
100-300-350-0000-5110	CalPERS Employer Share	\$191	\$1,095	\$2,369	\$1,274	46%
100-300-350-0000-5112	CalPERS Unfunded Liability	\$270	\$1,475	\$3,098	\$1,623	48%
100-300-350-0000-5115	Health Insurance	\$279	\$1,619	\$2,999	\$1,380	54%
100-300-350-0000-5120	Dental Insurance	\$22	\$119	\$233	\$114	51%
100-300-350-0000-5125	Long Term Disability/Life/AD&D	\$0	\$44	\$91	\$47	48%
100-300-350-0000-5217	Supplies			\$500	\$500	0%
100-300-350-0000-5300	Gas & Electricity	\$805	\$7,587	\$20,000	\$12,413	38%
100-300-350-0000-5698	Equipment/Equip. R&M	\$0	\$3,877	\$10,000	\$6,123	39%
TOTAL AERATION		\$3,135	\$21,523	\$58,458	\$36,935	37%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

FISHERY SUPPORT (360)						
100-300-360-0000-5000	Salaries - Regular	\$95	\$1,041	\$13,175	\$12,134	8%
100-300-360-0000-5055	Unemployment Insurance (SUI)			\$47	\$47	0%
100-300-360-0000-5060	FICA Medicare/Social Security	\$7	\$40	\$293	\$253	14%
100-300-360-0000-5105	Workers' Compensation	\$10	\$67	\$174	\$107	39%
100-300-360-0000-5110	CalPERS Employer Share	\$49	\$279	\$603	\$324	46%
100-300-360-0000-5112	CalPERS Unfunded Liability	\$69	\$375	\$788	\$413	48%
100-300-360-0000-5115	Health Insurance	\$54	\$308	\$592	\$284	52%
100-300-360-0000-5120	Dental Insurance	\$4	\$23	\$46	\$23	51%
100-300-360-0000-5125	Long Term Disability/Life/AD&D	\$0	\$9	\$18	\$9	48%
100-300-360-0000-5675	Ice Equipment R&M			\$3,500	\$3,500	0%
	TOTAL FISHERY SUPPORT	\$288	\$2,142	\$19,236	\$17,094	11%
CAPITAL PROJECTS (390)						
100-300-390-0000-5000	Salaries - Regular	\$129	\$129	\$5,147	\$5,018	3%
100-300-390-0000-5055	Unemployment Insurance (SUI)			\$200	\$200	0%
100-300-390-0000-5060	FICA Medicare/Social Security	\$10	\$10	\$400	\$390	2%
100-300-390-0000-5276	Permit Fees			\$1,000	\$1,000	0%
100-300-390-0000-5290	Miscellaneous Expenses			\$200	\$200	0%
100-300-390-0000-5298	Interest Expense	\$0	\$252,308	\$494,290	\$241,982	51%
100-300-390-0000-5416	Legal Consultation			\$1,000	\$1,000	0%
100-300-390-0000-5430	Engineering Services	\$0	\$2,445	\$10,000	\$7,555	24%
100-300-390-0000-5500	Mileage Reimbursement			\$200	\$200	0%
100-300-390-0000-6200	Principal Debt Payments	\$0	\$619,291	\$1,240,105	\$620,814	50%
	TOTAL CAPITAL PROJECTS	\$138	\$254,891	\$512,437	\$257,546	50%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

DREDGING OPERATIONS (400)						
100-300-400-0000-5000	Salaries - Regular	\$43,464	\$240,193	\$497,918	\$257,725	48%
100-300-400-0000-5005	Salaries - Overtime	\$104	\$13,628	\$25,000	\$11,372	55%
100-300-400-0000-5010	Wages - Part Time/Temporary	\$2,917	\$9,815	\$15,000	\$5,185	65%
100-300-400-0000-5015	Salaries - Comp. Time	\$0	\$389	\$500	\$111	78%
100-300-400-0000-5020	Salaries - Vacation Pay	\$0	\$5,837	\$1,000	(\$4,837)	584%
100-300-400-0000-5025	Salaries - Holiday Pay	\$0	\$1,302	\$1,000	(\$302)	130%
100-300-400-0000-5030	Salaries - Sick Pay	\$0	\$697		(\$697)	0%
100-300-400-0000-5040	Salaries - Call Back			\$500	\$500	0%
100-300-400-0000-5055	Unemployment Insurance (SUI)	\$37	\$406	\$7,523	\$7,117	5%
100-300-400-0000-5060	FICA Medicare/Social Security	\$3,584	\$20,965	\$46,775	\$25,810	45%
100-300-400-0000-5105	Workers' Compensation	\$1,599	\$10,884	\$28,060	\$17,176	39%
100-300-400-0000-5110	CalPERS Employer Share	\$2,570	\$14,763	\$31,937	\$17,174	46%
100-300-400-0000-5112	CalPERS Unfunded Liability	\$3,646	\$19,892	\$41,765	\$21,873	48%
100-300-400-0000-5115	Health Insurance	\$9,099	\$51,800	\$100,351	\$48,551	52%
100-300-400-0000-5120	Dental Insurance	\$708	\$3,776	\$7,421	\$3,645	51%
100-300-400-0000-5125	Long Term Disability/Life/AD&D	\$0	\$1,400	\$2,903	\$1,503	48%
100-300-400-0000-5140	Retiree Medical Contribution	\$0	\$0	\$5,000	\$5,000	0%
100-300-400-0000-5210	Hazmat Supplies			\$3,000	\$3,000	0%
100-300-400-0000-5212	Safety Supplies	\$0	\$1,496	\$5,500	\$4,004	27%
100-300-400-0000-5217	Supplies	\$23	\$4,782	\$7,500	\$2,718	64%
100-300-400-0000-5218	Tools	\$0	\$2,782	\$10,000	\$7,218	28%
100-300-400-0000-5232	Boat Fuel - Dredge Skiff	\$27	\$123	\$1,200	\$1,077	10%
100-300-400-0000-5233	Boat Fuel - Seabright	\$0	\$29,405	\$125,000	\$95,595	24%
100-300-400-0000-5234	Boat Fuel - Dauntless	\$214	\$3,988	\$9,500	\$5,512	42%
100-300-400-0000-5235	Vehicle & Equipment Fuel	\$0	\$6,093	\$8,500	\$2,407	72%
100-300-400-0000-5236	Harbor Patrol Training	\$0	\$50		(\$50)	0%
100-300-400-0000-5240	Miscellaneous Employee Training	\$0	\$4,142	\$10,000	\$5,858	41%
100-300-400-0000-5256	Equipment Rental	\$0	\$27,551	\$32,000	\$4,449	86%
100-300-400-0000-5262	Insurance Premiums	\$601	\$4,291	\$23,530	\$19,239	18%
100-300-400-0000-5266	Memberships, Dues, Subscriptions			\$500	\$500	0%
100-300-400-0000-5268	Meetings & Training	\$0	\$212	\$2,000	\$1,788	11%
100-300-400-0000-5270	Books			\$100	\$100	0%
100-300-400-0000-5276	Permit Fees	\$0	\$1,192	\$10,000	\$8,808	12%
100-300-400-0000-5290	Miscellaneous Expenses	\$0	\$2,730	\$5,000	\$2,270	55%
100-300-400-0000-5292	Uniform Cleaning/Laundry	\$167	\$1,684	\$6,500	\$4,816	26%
100-300-400-0000-5308	Hazmat Disposal	\$360	\$917	\$5,000	\$4,083	18%
100-300-400-0000-5418	Freight	\$0	\$339	\$2,500	\$2,161	14%
100-300-400-0000-5440	Environmental Services	\$0	\$19,646	\$10,000	(\$9,646)	196%
100-300-400-0000-5445	Dredge Consulting	\$0	\$21,707	\$25,000	\$3,293	87%
100-300-400-0000-5450	Other Services	\$0	\$9,450	\$10,000	\$550	95%
100-300-400-0000-5500	Mileage Reimbursement	\$0	\$186	\$1,000	\$814	19%
100-300-400-0000-5620	Paint & Supplies	\$0	\$1,118	\$5,000	\$3,882	22%
100-300-400-0000-5665	Vehicle Maintenance	\$0	\$910	\$7,500	\$6,590	12%
100-300-400-0000-5672	Other Repairs & Maintenance	\$0	\$96	\$1,200	\$1,104	8%
100-300-400-0000-5685	Safety Equipment R&M			\$1,500	\$1,500	0%
100-300-400-0000-5698	Equipment/Equipment R&M	\$52	\$4,163	\$60,000	\$55,837	7%
100-300-400-0000-5700	Maint/Lube Inner Harbor Dredge	\$206	\$24,030	\$15,000	(\$9,030)	160%
100-300-400-0000-5705	Maint/Lube Dredge Seabright	\$3,201	\$74,718	\$90,000	\$15,282	83%
100-300-400-0000-5707	Maint/Lube - Ancillary Equipment	\$1,379	\$5,376	\$20,000	\$14,624	27%
100-300-400-0000-5710	Maint/Lube Dredge Workboat Dauntless	\$1,110	\$12,928	\$30,000	\$17,072	43%
100-300-400-0000-5715	Dredge Paint/Coatings	\$0	\$6,516	\$10,000	\$3,484	65%
100-300-400-0000-5720	Booster Pump R&M			\$15,000	\$15,000	0%
100-300-400-0000-5725	Welding Supplies	\$52	\$3,190	\$12,000	\$8,810	27%
100-300-400-SO01-5000	January 2017 Winter Storms - Salaries	\$0	\$8,296		(\$8,296)	0%
100-300-400-0000-6105	Capitalized Equip Xfer to 1100	\$13,406	\$60,558	\$145,956	\$85,398	41%
TOTAL DREDGING OPERATIONS		\$75,119	\$679,852	\$1,393,183	\$713,331	49%

Santa Cruz Port District
 Monthly Budget Report
 For the Six Months Ending Monday, September 30, 2019

BOATYARD OPERATIONS (500)						
100-500-500-0000-5000	Salaries - Regular	\$9,591	\$59,271	\$109,820	\$50,549	54%
100-500-500-0000-5005	Salaries - Overtime	\$57	\$568	\$1,500	\$932	38%
100-500-500-0000-5010	Wages - Part Time/Temp.	\$400	\$3,520	\$15,500	\$11,980	23%
100-500-500-0000-5040	Call Back			\$500	\$500	0%
100-500-500-0000-5055	Unemployment Insurance (SUI)	\$20	(\$46)	\$1,302	\$1,348	(4%)
100-500-500-0000-5060	FICA Medicare/Social Security	\$750	\$4,738	\$10,370	\$5,632	46%
100-500-500-0000-5105	Workers' Compensation	\$600	\$4,085	\$10,533	\$6,448	39%
100-500-500-0000-5110	CalPERS Employer Share	\$605	\$3,477	\$7,522	\$4,045	46%
100-500-500-0000-5112	CalPERS Unfunded Liability	\$859	\$4,685	\$9,837	\$5,152	48%
100-500-500-0000-5115	Health Insurance	\$3,042	\$17,204	\$37,229	\$20,025	46%
100-500-500-0000-5120	Dental Insurance	\$266	\$1,417	\$2,786	\$1,369	51%
100-500-500-0000-5125	Long Term Disability/Life/AD&D	\$0	\$526	\$1,090	\$564	48%
100-500-500-0000-5204	Advertising			\$525	\$525	0%
100-500-500-0000-5210	Hazmat Supplies	\$0	\$311	\$1,000	\$689	31%
100-500-500-0000-5212	Safety Supplies	\$0	\$266	\$500	\$234	53%
100-500-500-0000-5217	Supplies	\$682	\$3,174	\$2,500	(\$674)	127%
100-500-500-0000-5218	Tools	\$0	\$843	\$1,000	\$157	84%
100-500-500-0000-5235	Fuel - Travelift	\$95	\$1,034	\$2,100	\$1,066	49%
100-500-500-0000-5236	Boatyard Training	\$0	\$171	\$700	\$529	24%
100-500-500-0000-5240	Miscellaneous Employee Training	\$618	\$618	\$500	(\$118)	124%
100-500-500-0000-5256	Equipment Rental			\$1,000	\$1,000	0%
100-500-500-0000-5262	Insurance Premiums	\$314	\$1,887	\$2,500	\$613	75%
100-500-500-0000-5276	Permit Fees	\$0	\$419	\$2,500	\$2,081	17%
100-500-500-0000-5284	Credit Card Fees	\$466	\$2,935	\$4,500	\$1,565	65%
100-500-500-0000-5290	Misc. Expenses	\$101	\$370	\$2,500	\$2,130	15%
100-500-500-0000-5292	Uniforms	\$0	\$82	\$400	\$318	20%
100-500-500-0000-5300	Gas & Electricity	\$0	\$7,102	\$18,000	\$10,898	39%
100-500-500-0000-5305	Water, Sewer, Garbage	\$379	\$2,502	\$4,100	\$1,598	61%
100-500-500-0000-5308	Hazmat Disposal			\$5,000	\$5,000	0%
100-500-500-0000-5310	Telephone & Alarms	\$126	\$901	\$2,000	\$1,099	45%
100-500-500-0000-5315	Sanitary District Charges			\$1,000	\$1,000	0%
100-500-500-0000-5425	Contract Services	\$0	\$102	\$500	\$398	20%
100-500-500-0000-5430	Engineering Services	\$0	\$7	\$500	\$493	1%
100-500-500-0000-5450	Other Services	\$0	\$178	\$2,000	\$1,822	9%
100-500-500-0000-5465	Software License & Application			\$500	\$500	0%
100-500-500-0000-5500	Mileage Reimbursement			\$200	\$200	0%
100-500-500-0000-5625	Signage			\$500	\$500	0%
100-500-500-0000-5694	Office Equipment	\$0	\$205	\$200	(\$5)	102%
100-500-500-0000-5698	Equipment R&M	(\$8,644)	\$12,635	\$6,000	(\$6,635)	211%
100-500-500-0000-7000	Filtration System R&M			\$3,000	\$3,000	0%
100-500-500-0000-7005	Filtration System Supplies			\$1,500	\$1,500	0%
100-500-500-0000-7020	Cost of Goods Sold	\$2,253	\$5,773	\$10,000	\$4,227	58%
100-500-500-0000-6100	Capital Outlay			\$8,000	\$8,000	0%
TOTAL BOATYARD OPERATIONS		\$12,579	\$140,955	\$285,214	\$144,259	49%

CAPITAL IMPROVEMENT PROGRAM (900)					
100-900-900-F004-5000	Sewer Lift Station Upgrade Labor	\$0	\$226	(\$226)	0%
100-900-900-F005-5000	Piling Replacement Labor	\$51	\$510	(\$510)	0%
100-900-900-F005-5680	Boatyard Emergency Pile Repairs	\$6,360	\$6,360	(\$6,360)	0%
100-900-900-F006-5000	Pavement Repairs Labor	\$0	\$1,239	(\$1,239)	0%
100-900-900-F006-6300	Pavement Repairs Budget	\$0	\$60,830	(\$60,830)	0%
100-900-900-F008-6300	Dock Upgrades Budget	\$0	\$1,373	(\$1,373)	0%
100-900-900-F008-5000	Dock Upgrades Labor	\$0	\$505	(\$505)	0%
100-900-900-F011-5000	Building Restoration Labor	\$931	\$5,632	(\$5,632)	0%
100-900-900-F011-6300	Building Restoration Budget	\$0	\$861	(\$861)	0%
100-900-900-F019-5000	Aeration System Upgrade Labor	\$592	\$592	(\$592)	0%
100-900-900-F021-5000	7th & Brommer Labor	\$273	\$273	(\$273)	0%
100-900-900-F027-5000	Aldo's Seawall Labor	\$1,730	\$23,171	(\$23,171)	0%
100-900-900-F027-5430	Aldo's Seawall Engineering	\$7,652	\$44,123	(\$44,123)	0%
100-900-900-F027-6300	Aldo's Seawall Budget	\$11,000	\$338,011	(\$338,011)	0%
100-900-900-F032-5000	Pappy Park Labor	\$0	\$121	(\$121)	0%
100-900-900-F032-6300	Pappy Park Budget	\$0	\$6,641	(\$6,641)	0%
100-900-900-F035-5000	Boatyard Marine Ways Inspection / Upgrade Labor	\$0	\$578	(\$578)	0%
100-900-900-F035-5430	Boatyard Marine Ways Inspection / Upgrade Engineering	\$0	\$15,000	(\$15,000)	0%
100-900-900-F035-6300	Boatyard Marine Ways Inspection / Upgrade Costs	\$0	\$1,638	(\$1,638)	0%
100-900-900-F036-5000	X/J Dock Kayak Storage Labor	\$0	\$7,285	(\$7,285)	0%
100-900-900-F036-6300	X/J Dock Kayak Storage Budget	\$0	\$12,604	(\$12,604)	0%
100-900-900-H001-5000	Harbor Security Labor	\$0	\$3,242	(\$3,242)	0%
100-900-900-H001-6300	Harbor Security Upgrades Budget	\$0	\$22,908	(\$22,908)	0%
100-900-900-OP02-5000	Concession Lot Automation Labor	\$449	\$1,372	(\$1,372)	0%
100-900-900-OP02-6300	Concession Lot Automation Budget	\$0	\$83,283	(\$83,283)	0%
TOTAL CAPITAL IMPROVEMENT PROGRAM		\$29,038	\$638,380	\$0 (\$638,380)	0%

DEPRECIATION					
000-000-000-0000-6003	Depreciation - Docks	\$59,581	\$357,488	(\$357,488)	0%
000-000-000-0000-6005	Depreciation - Structures & Improvements	\$52,666	\$315,996	(\$315,996)	0%
000-000-000-0000-6027	Depreciation - Office Equipment	\$1,859	\$11,152	(\$11,152)	0%
000-000-000-0000-6030	Depreciation - Equipment	\$23,313	\$139,876	(\$139,876)	0%
000-000-000-0000-6040	Depreciation - Boatyard Sweeper	\$333	\$1,998	(\$1,998)	0%
000-000-000-0000-6045	Depreciation - Travelift	\$2,250	\$13,500	(\$13,500)	0%
TOTAL DEPRECIATION		\$140,002	\$840,009	\$0 (\$840,009)	0%

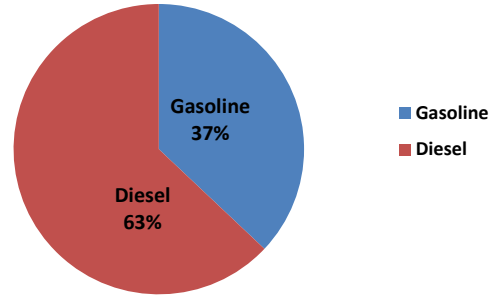
AMORTIZATION

NET PENSION/OPEB LIABILITY EXPENSE

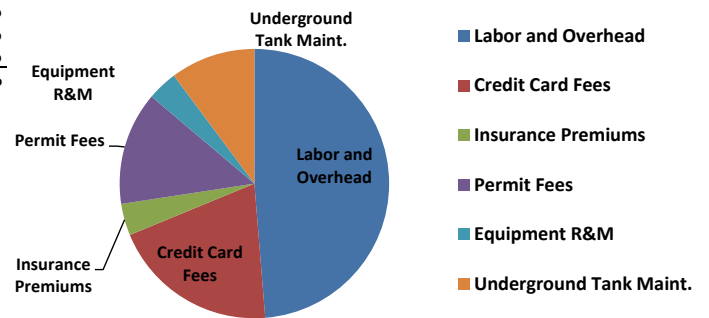
**Santa Cruz Port District
Quarterly Fuel Dock Report
For the Three Months Ended September 30, 2019**

	FY 2020		% of Budget
	QTD July - Sep	YTD Apr - Sep	
Fuel Dock Revenue			
Gasoline	\$80,503	\$189,437	92%
Diesel	\$140,066	\$321,969	85%
Total Revenue	\$220,568	\$511,406	87%
Cost of Sales			
Gasoline	\$72,512	\$177,537	101%
Diesel	\$87,453	\$190,004	79%
Total Cost of Sales	\$159,965	\$367,541	89%
Gross Profit	\$60,604	\$143,864	
Operating Expenses			
Labor and Overhead	\$5,824	\$11,799	43%
Credit Card Fees	\$2,782	\$4,857	69%
Insurance Premiums	\$462	\$924	23%
Permit Fees	\$3,294	\$3,294	87%
Equipment R&M	\$877	\$877	35%
Underground Tank Maint.	\$1,940	\$2,469	99%
Supplies			0%
Total Operating Expenses	\$15,178	\$24,220	48%
Net Profit / (Loss)	\$45,425	\$119,644	
Profit Margin	21%	23%	

Fuel Dock Revenue

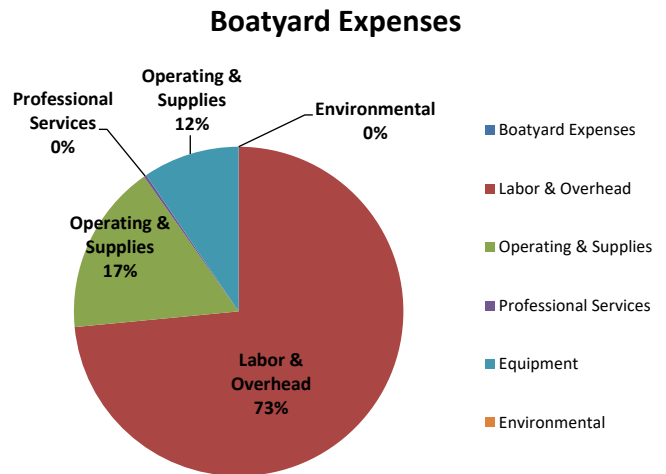
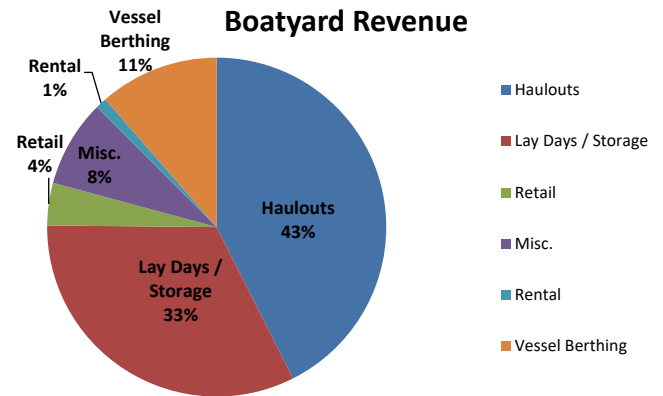


Fuel Dock Expenses



**Santa Cruz Port District
Quarterly Boatyard Report
For the Three Months Ended September 30, 2019**

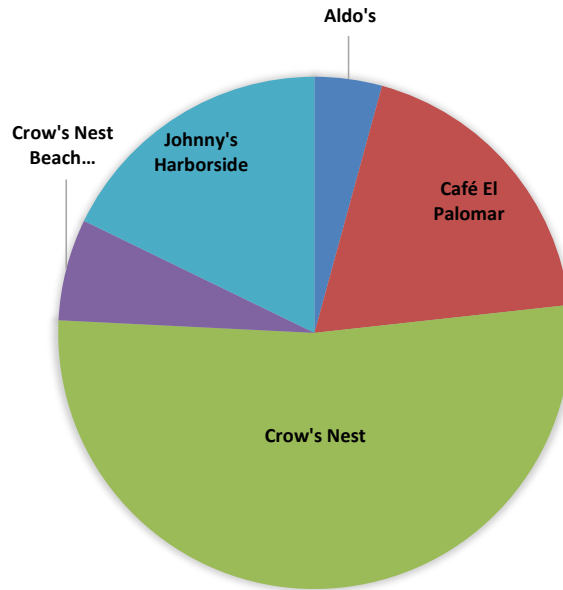
	QTD Jul - Sep	YTD Apr - Sep	% of Budget
Boatyard Revenue			
Haulouts	\$37,870	\$79,784	78%
Lay Days / Storage	\$33,534	\$61,069	61%
Retail	\$2,429	\$7,606	76%
Misc.	\$8,159	\$15,584	78%
Rental	\$815	\$2,000	111%
Vessel Berthing	\$8,086	\$21,381	143%
Total Revenue	\$90,893	\$187,423	78%
Boatyard Expenses			
Labor & Overhead	\$50,789	\$99,445	48%
Operating & Supplies	\$10,836	\$22,705	43%
Professional Services	\$351	\$351	12%
Equipment	\$3,052	\$12,840	174%
Environmental	\$0	\$0	0%
Cost of Goods Sold	\$2,253	\$5,773	58%
Total Operating Expenses	\$67,281	\$141,113	49%
Net Profit / (Loss)	\$23,612	\$46,310	



**Santa Cruz Port District
Quarterly Concession Rent Report
For the Three Months Ended September 30, 2019**

	FY 2020	
	QTD Jul - Sep	YTD Apr - Sep
Base Rent		
Aldo's	5,487	10,974
Café El Palomar	40,194	80,388
Crow's Nest	-	-
Crow's Nest Beach Market	17,427	34,854
Johnny's Harborside	21,543	43,190
Total Base Rent	84,651	169,406
% Rent		
Aldo's	\$9,746	\$13,182
Café El Palomar	\$16,590	\$27,741
Crow's Nest	\$164,566	\$298,733
Crow's Nest Beach Market	\$1,658	\$1,658
Johnny's Harborside	\$30,271	\$58,022
Total % Rent	\$222,831	\$399,336
Total Rent		
Aldo's	\$15,233	\$24,156
Café El Palomar	\$56,784	\$108,129
Crow's Nest	\$164,566	\$298,733
Crow's Nest Beach Market	\$19,085	\$36,512
Johnny's Harborside	\$51,814	\$101,212
Total Rent	\$307,482	\$568,742

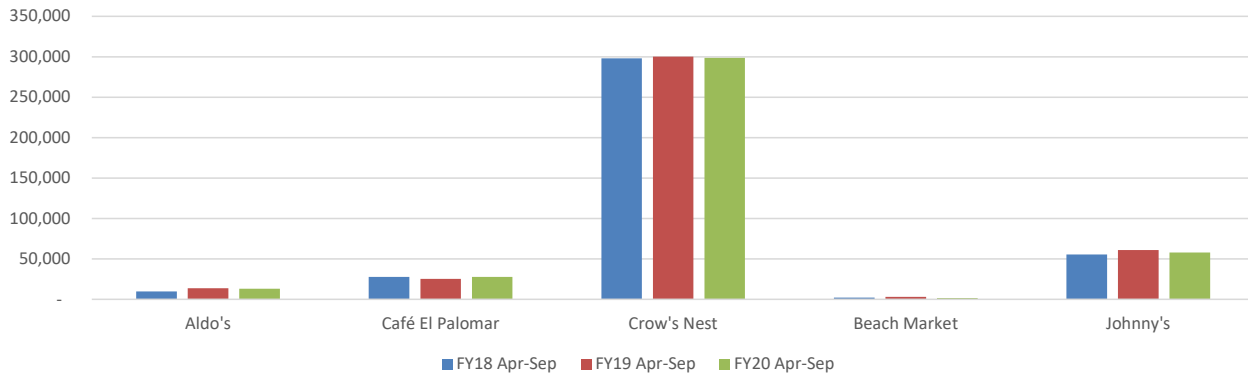
TOTAL CONCESSION RENT YTD



YTD 3-Year Concession % Rent

Tenant	FY18 Apr-Sep	FY19 Apr-Sep	FY20 Apr-Sep
Aldo's	9,860	13,702	13,182
Café El Palomar	27,708	25,285	27,741
Crow's Nest	297,878	300,265	298,733
Beach Market	2,283	2,930	1,658
Johnny's	55,560	60,828	58,022

PERCENTAGE RENT YTD



California State Treasurer
Fiona Ma, CPA



Local Agency Investment Fund
 P.O. Box 942809
 Sacramento, CA 94209-0001
 (916) 653-3001

October 23, 2019

[LAIF Home](#)
[PMIA Average Monthly Yields](#)

SANTA CRUZ PORT DISTRICT

PORT DIRECTOR
 135 5TH AVENUE
 SANTA CRUZ, CA 95062

[Tran Type Definitions](#)

Account Number: ██████████

September 2019 Statement

Effective Date	Transaction Date	Tran Type	Confirm Number	Authorized Caller	Amount
9/5/2019	9/4/2019	RD	1616672	MARIAN OLIN	300,000.00

Account Summary

Total Deposit:	300,000.00	Beginning Balance:	12,206,494.73
Total Withdrawal:	0.00	Ending Balance:	12,506,494.73



**CALIFORNIA STATE TREASURER
FIONA MA, CPA**



PMIA Performance Report

Date	Daily Yield*	Quarter to Date Yield	Average Maturity (in days)
09/16/19	2.28	2.35	182
09/17/19	2.27	2.35	188
09/18/19	2.27	2.35	187
09/19/19	2.27	2.35	186
09/20/19	2.26	2.35	185
09/21/19	2.26	2.34	185
09/22/19	2.26	2.34	185
09/23/19	2.26	2.34	186
09/24/19	2.26	2.34	185
09/25/19	2.25	2.34	184
09/26/19	2.25	2.34	186
09/27/19	2.25	2.34	187
09/28/19	2.25	2.34	187
09/29/19	2.25	2.34	187
09/30/19	2.25	2.34	185
10/01/19	2.22	2.22	200
10/02/19	2.22	2.22	200
10/03/19	2.21	2.22	198
10/04/19	2.21	2.22	198
10/05/19	2.21	2.21	198
10/06/19	2.21	2.21	198
10/07/19	2.21	2.21	197
10/08/19	2.21	2.21	197
10/09/19	2.21	2.21	196
10/10/19	2.20	2.21	199
10/11/19	2.20	2.21	200
10/12/19	2.20	2.21	200
10/13/19	2.20	2.21	200
10/14/19	2.20	2.21	197
10/15/19	2.20	2.21	198
10/16/19	2.19	2.21	197

*Daily yield does not reflect capital gains or losses

[View Prior Month Daily Rates](#)

LAIF Performance Report

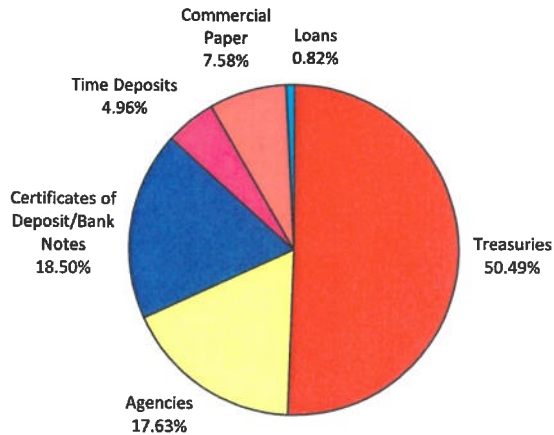
Quarter Ending 09/30/19

Apportionment Rate: 2.45
 Earnings Ratio: .00006701807521016
 Fair Value Factor: 1.001642817
 Daily: 2.25%
 Quarter to Date: 2.34%
 Average Life: 185

PMIA Average Monthly Effective Yields

Sep 2019 **2.280**
 Aug 2019 2.341
 July 2019 2.379

**Pooled Money Investment Account
Portfolio Composition
09/30/19
\$97.4 billion**



Percentages may not total 100% due to rounding

Notes: The apportionment rate includes interest earned on the CalPERS Supplemental Pension Payment pursuant to Government Code 20825 (c)(1)

Based on data available as of 10/16/2019

**Santa Cruz Port District
Debt Service Coverage Audited FY 19**

	2018 <i>Audited</i>	2019 <i>Audited</i>
Operating Revenues		
Charges for berthing and services	\$ 7,181,501	\$ 7,372,983
Rent and concessions	\$ 1,889,238	\$ 1,838,345
Total Operating Revenues	<u>\$ 9,070,739</u>	<u>\$ 9,211,328</u>
Operating Expenses		
Depreciation and Amortization	\$ 1,824,754	\$ 1,830,080
CalPERS Unfunded Liability (Non-cash)	\$ 489,486	\$ 313,404
OPEB Liability (Non-cash)	-	\$ 70,313
Dredging Operations	\$ 1,234,002	\$ 1,232,182
Administrative Services	\$ 632,156	\$ 653,783
Grounds	\$ 633,063	\$ 750,251
Fuel Services	\$ 350,664	\$ 413,682
Harbor Patrol	\$ 627,790	\$ 641,569
Property Management	\$ 403,528	\$ 474,209
Marina Management	\$ 492,804	\$ 544,303
Buildings	\$ 259,087	\$ 322,642
Parking Services	\$ 360,565	\$ 357,156
Docks, Piers, Marine Structures	\$ 317,187	\$ 270,617
Debt issuance costs	-	-
Finance & Purchasing	\$ 165,863	\$ 170,690
Environmental & Permitting	\$ 131,817	\$ 143,423
Utilities	\$ 107,964	\$ 87,508
Aeration	\$ 44,900	\$ 36,840
Rescue Services	\$ 97,308	\$ 95,508
Boatyard Operations	\$ 221,938	\$ 254,419
Port Commission Support	\$ 48,164	\$ 45,923
Capital Projects	\$ 9,716	\$ 1,022
Events	\$ 32,313	\$ 30,682
Fishery Support	\$ 2,452	\$ 2,762
Total Expenses	<u>\$ 8,487,521</u>	<u>\$ 8,742,968</u>
Non-Operating Revenue (Expenses)		
County revenues for public services	\$ 36,228	\$ 12,493
Grants and Other Income	\$ 140,189	\$ 111,403
Dredging Reimbursement USACE	\$ 485,000	\$ 449,000
Interest Income	\$ 96,293	\$ 242,056
Interest Expense	\$ (444,310)	\$ (476,885)
Other Income (Expenses)	\$ 44,912	\$ 188,516
Total Non-Operating Income (Expenses)	<u>\$ 358,312</u>	<u>\$ 526,583</u>
Extraordinary Items		
Losses related to tsunami damage, net of reimbursements	\$ -	\$ -
OE3 Trust Fund withdrawal liability	-	-
Grants recognized in excess of current expenses related to tsunami damage	-	-
Total Extraordinary Items	<u>\$ -</u>	<u>\$ -</u>
<u>Debt Service Coverage Calculation</u>		
(+) Gross Revenues	\$ 9,070,739	\$ 9,211,328
(-) Maintenance and operating expenses	\$ (8,487,521)	\$ (8,742,968)
(+) Depreciation and Amortization	\$ 1,824,754	\$ 1,830,080
(+) CalPERS Unfunded Liability (Non-cash)	\$ 489,486	\$ 313,404
(+) OPEB Liability (Non-cash)	\$ -	\$ 70,313
(=) Net Operating Income	<u>\$ 2,897,458</u>	<u>\$ 2,682,157</u>
(+) Interest Income	\$ 96,293	\$ 242,056
(+) Non-operating Income	\$ 44,912	\$ 188,516
(+) Grants	\$ 176,417	\$ 123,896
(+) Dredging Reimbursement USACE	\$ 485,000	\$ 449,000
(=) Net Revenues Available for Debt Service	<u>\$ 3,700,080</u>	<u>\$ 3,685,625</u>
(+) Current Portion Long Term Debt	\$ 1,048,837	\$ 1,254,451
(+) Interest Expense	\$ 444,310	\$ 476,885
(=) Total Debt Service	<u>\$ 1,493,147</u>	<u>\$ 1,731,336</u>
Debt Service Coverage Ratio (DSCR)	2.48x	2.13x
Required DSCR	1.25x	1.25x

Santa Cruz Port District (the "District") certifies to Compass Bank (the "Bank") that the above information, figures and calculations and an attached documentation are accurate, true and complete and that all material is correct to the best of their knowledge. They also certify that the above figures and calculations represent legally available resources to pay debt service and that the above figures and calculations accurately reflect the historical debt service coverage within the definition of "Net Revenues" as defined in the Loan Agreements dated September 1, 2013, and September 1, 2018, between District and Bank specifically as it relates to Grants and Other Income legally available for operations of the District and that the natural person executing this Certificate on District's behalf has authorization to execute this Certificate on District's behalf, and has the capacity and knowledge of the above.

Santa Cruz Port District:

By: Marian Olin

Its: Port Director

Date: September 26, 2019



TO: Port District Commission
FROM: Blake Anderson, Interim Harbormaster
DATE: October 14, 2019
SUBJECT: Crime/Incident/Citation Report - September 2019

Search and Rescue, Patrol Boat Response

- 9.1.19 Harbor Patrol responded to a report of a capsized vessel in the area of Davenport Beach. While underway, U.S Coast Guard Sector San Francisco reported that their helicopter had located the vessel and observed six victims clinging to the hull. A rescue swimmer had been deployed from the air. Harbor Patrol arrived on-scene and retrieved three of the victims, while a Coast Guard vessel retrieved the other three. All victims were transported back to the harbor launch ramp for medical evaluation by paramedics. All six victims were medically cleared and released. The vessel salvage was turned over to Tow Boat US
- 9.1.19 Harbor Patrol responded to a report of a subject who had jumped off of the Santa Cruz Municipal Wharf and was in distress. Upon arrival, Santa Cruz Police canceled the call after the subject made it back to the beach.
- 9.2.19 Harbor Patrol responded to a report of a windsurfer in distress off of West Cliff Drive. State Parks Lifeguards assisted the subject safely to shore.
- 9.2.19 Harbor Patrol responded to a report of a swimmer in distress near It's Beach. While enroute, the call was canceled after the swimmer was assisted safely to shore.
- 9.17.19 Harbor Patrol responded to a report of a flare sighting off of Seascape Beach. After a brief search of the area, U.S Coast Guard advised Harbor Patrol that the flares were part of Naval training exercise.
- 9.22.19 Harbor Patrol responded to a report of a stand-up paddleboarder in distress near the harbor entrance. Harbor Patrol transported the paddleboarder back to the launch ramp, without incident.
- 9.25.19 Harbor Patrol responded to a report of a vessel in distress near 26th Avenue. Upon arrival, Harbor Patrol located the vessel as it was entering the surf line and secured a tow line. Harbor Patrol towed the vessel back to the harbor without incident.
- 9.28.19 Harbor Patrol responded to a report of a stand-up paddle boarder in distress, approximately $\frac{3}{4}$ mile outside the harbor entrance. Harbor Patrol located and transported the subject back to the launch ramp, where she was medically evaluated.

- 9.29.19 Harbor Patrol responded to two overturned kayaks in the harbor entrance. Both subjects swam to the east jetty and were able to self-extricate by climbing up the rocks. Harbor Patrol evaluated the subjects and both were released with minor injuries. The kayak was retrieved by a bystander.
- 9.29.19 Harbor Patrol responded to a report of approximately ten surfers in distress off of 36th Avenue. Once on scene, Central Fire rescue swimmers assisted ten victims onto the Almar patrol boat. The victims were transported back to the harbor launch ramp and evaluated by paramedics. All were released without injuries.

Crime Reports, Assist Outside Department and Incident Reports

- 9.5.19 Harbor Patrol took an accident report from a subject whose boat trailer was struck and damaged while parking in the launch ramp parking lot. No suspect information is available.
- 9.11.19 Harbor Patrol took a stolen property report after a kayak was reported missing from N-Dock. No suspect information was available.
- 9.15.19 Harbor Patrol responded to a report of a medical incident at U-Dock after an intoxicated subject slipped and fell while onboard her vessel. The subject sustained a laceration to her forehead. Paramedics arrived on the scene and took over patient care. The patient was transported to Dominican Hospital by AMR.
- 9.16.19 Harbor Patrol took a stolen property report after a subject reported tools missing from an unsecured toolbox in the Boatyard. After reviewing security video footage no suspect information is available.
- 9.17.19 Harbor Patrol took an accident report from a subject whose car was struck and damaged while parked in the concession parking lot. Harbor Patrol identified the responsible party and facilitated the exchange of insurance information.
- 9.24.19 Harbor Patrol took a vessel accident report after Bellingham Marine's work barge struck a vessel in the area of E-Dock. The slip renter was contacted, and repair arrangements have been made.
- 9.29.19 Harbor Patrol took an accident report after two parked vehicles were struck in the area of X-Dock. Both vehicles sustained moderate damage. No suspect information is available.

286 parking citations were issued in September. Additionally, Harbor Patrol towed an abandoned vehicle from the area of J-Dock.

Port Commission Review Calendar 2019-20

2019

January-March

- ✓ Committee assignments for 2019
- ✓ Sea Scouts' bi-annual report
- ✓ Slip vacancy bi-annual report / waiting list statistics
- ✓ FY 20 Budget
- ✓ Review 5-year CIP
- ✓ Ethics Training Update
- ✓ Form 700 Filing (due by 03/31 each year)
- ✓ Bi-annual Anti-Harassment/Anti-Discrimination Training

April-June

- ✓ Dredge Report 2018-19 (postponed to July)
- ✓ Vessel Use List Review
- ✓ Review of FY20 Fee Schedule

July-September

- ✓ Vessel Insurance Policy Review
- ✓ Review of O'Neill Sea Odyssey slip rent reduction / charter fee. PC action of 07/07
- ✓ Slip vacancy bi-annual report / waiting list statistics
- ✓ Sea Scouts' bi-annual report

October-December

- ✓ Annual review of business use of slips
- ___ Port Commission officers for 2020
- ✓ Nexus Wealth Advisors lease exp. 11/30/19 (2) 3 year options
- ✓ Bayside Marine lease exp. 01/31/20 (1) 2 year options

Committee Review Items (timeline not specified)

- ✓ Outside Contractors (Policy Committee)
- ___ Vessel Insurance Policy Enforcement (Policy Committee)

2020

January-March

- ___ Committee assignments for 2020
- ___ Sea Scouts' bi-annual report
- ___ Slip vacancy bi-annual report / waiting list statistics
- ___ FY 21 Budget
- ___ Review 5-year CIP
- ___ Review of NH sublet fee structure (exp. 3/31/20)
- ___ Ethics Training Update
- ___ Form 700 Filing (due by 03/31 each year)

April-June

- ___ Dredge Report 2019-20
- ___ Vessel Use List Review
- ___ Biannual Update to Conflict of Interest Code
- ___ Crow's Nest lease exp. 04/30/20 (Suite 130) 2 (5) year options

July-September

- ___ Vessel Insurance Policy Review
- ___ Review of O'Neill Sea Odyssey slip rent reduction / charter fee. PC action of 07/07
- ___ Sea Scouts' bi-annual report
- ___ Slip vacancy bi-annual report / waiting list statistics

October-December

- ___ Annual review of business use of slips
- ___ Port Commission officers for 2020
- ___ Nexus Wealth Advisors lease exp. 11/30/19 (2) 3 year options
- ___ Bayside Marine lease exp. 01/31/20 (1) 2 year options

Future Calendar

- ___ ABC End-Tie review after Murray Street Bridge Retrofit

2020

- ___ Biennial Update to Conflict of Interest Code
- ___ Port Commission Policies and Procedures Manual Update: Human Resources Pole

2021

- ___ Bi-annual Anti-Harassment/Anti-Discrimination Training

Key

- ___ Pending
- In process
- ✓ Done